

**TOWN OF NORTHFIELD
APPLICATION FOR SITE PLAN REVIEW**

Application for: Design Review Final Application
Level of Site Plan Review Required: Minor Major

Name of Owner: Wil Perez
Address: 101 Forrest Rd
Telephone #: 603-545-2069 E-mail address: WILP@METROCAST.NET

Authorized Agent: Myself
Address: SAME AS ABOVE
Telephone #: _____ E-mail address: _____

Name of Development: Boat/Camper Rental Space
Location: 101 Forrest Rd
Tax Map and Lot Number(s): U05 LOT #4

Description of Development: A LOT A STREET PORTION OF MY LAND TO
PARK & Boat or Mix Campers

Current Zoning of Site: Commercial/Industrial / GWP District
Special Exception Granted? Yes Not Applicable
Variance Granted? Yes Not Applicable

Site in Acres: — Site in Sq. Ft.: 3650'
Total Developable Acres: _____

Type Sewage Disposal: Municipal Private Other _____
Type of Water Supply: Municipal Private Other _____

ASIDE FROM THE ABOVE, THE FOLLOWING ARE REQUIRED:

1. "Notice of Planning and Zoning Approvals Required" signed by the Northfield Building Inspector.
2. A petition for any and all waivers. The petition shall state fully the grounds for each request for waiver and all of the facts relied upon by the petitioner.
3. All other requirements as per Section 5 of the Town of Northfield Site Plan Review Regulations.

To the best of my knowledge, the information above and that accompanies this request is true and correct. I understand that any approval based on incorrect information and data may be reviewed and withdrawn.

Date: 5/18/2023

Signed: Wilfred Perez

**TOWN OF NORTHFIELD
ABUTTER'S LIST FOR
SITE PLAN/DESIGN REVIEW APPLICATIONS**

An abutter is anyone with property that shares a boundary line or is on the other side of a street from a boundary line. **Include all engineers, surveyors, authorized agent and the applicant.** If applicable, all holders of conservation, preservation or agricultural preservation restrictions must be included in the abutter list.

	NAME	ADDRESS	TAX MAP AND LOT #(s):
1.	SHANE moore	109 Forrest Rd	U 4-11 LOT 5
2.	Patti Page	95 Forrest Rd.	U 4-11 LOT-11
3.	Amerigase	100 Forrest Rd.	U 4-11 U 5-6 LOT 6
4.	George Corliss	411 Shaker Rd	U 04-1
5.	Wilfred & Marquette Perez	101 Forrest Rd	U 05-4
6.			
7.			
8.			
9.			
10.			
11.			
12.			
13.			
14.			
15.			

Design Review : \$100.00

MAJOR Site plan :
\$300.00 + \$150/living unit or
\$150/1500 sq. ft. commercial

MINOR Site Plan:
\$100.00 + \$150/living unit or
\$150/1500 sq. ft. commercial

ABUTTER NOTIFI-
CATION/ABUTTER \$10.00

Total # of Abutters X \$10.00 50.-

Application Fee 300.-

Total Due: 350.-

Date Received 5/18/23

**TOWN OF NORTHFIELD
MAJOR SITE PLAN REVIEW CHECKLIST**

Applicant Name:

Wilfred Perez

Date of Application:

5/18/2023

Submittal Requirements: Please check N/A if an item is truly Not Applicable. Otherwise, a waiver request will be required, in writing, for any items not submitted as part of the application. The waiver request must be made at the time the application is made at the Town Offices. This checklist provides guidance regarding minimum requirements for **Major Site Plan Review**. Other information and documentation may be required within the Town of Northfield Site Plan Review Regulations and at the discretion of the Planning Board.

General

- | YES | NO | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. On a completed Site Plan Application form completed and endorsed by the property owner(s) and his/her agent. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Include an attached statement authorizing the agent, if any, to act on behalf of the property owner. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Include a fee in accordance with the fee schedule in Section 12 of the Regulations. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 4. Include six (6) black or blue-line copies of a site plan as described in Section 6 of the Regulations and six (6) copies of each other required plan. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Include ten (10) sets of reduced pans not larger than eleven by seventeen (11 x 17) inches. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6. Include the names and addresses of all abutters. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Include all required State and Federal permits or evidence that the permit has been applied for. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Include a statement describing the development including the use or uses to conducted on the lot, or change of an existing use, or augmentation of an existing use |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Include an impact statement in narrative form addressing the proposed projects purpose, scope of operation, and impact on the immediate area and the town (see Section 5.3 of the Regulations). |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Include written notification of a building permit denial outlining the reasons for such a denial. This notification is available on a form completed by the Selectmen, or their Authorized Agent (Building Inspector). |

YES NO N/A

- | | | | |
|--------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 11. Include a written request for required waivers. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. If the development is to be in stages or phases, include a description of the projects in terms of such stages or phases. |

Site Plan Requirements

- | | | | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. A completed Site Plan prepared by a licensed land surveyor or certified engineer registered in the State of New Hampshire. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2. A completed Site Plan must be drawn to scale of not less than one (1) inch equals fifty (50) feet. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3. Plan size (margin to margin) shall be a minimum size of 8 ½ x 11 inches, and a maximum size of 22 x 34 inches. Appropriate lines shall be used for plans exceeding the maximum limit. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4. Include a Title Block which includes:
a) Title of plan;
b) Owner's name and address, and that of any agent;
c) Date the plan was prepared and dates of subsequent revisions;
d) Scale of the plan;
e) Name, address, and seal (if applicable) of the preparer of the plan. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5. A North Arrow. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. A Bar Scale. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7. An approval block containing the statement "Approved by the Northfield Planning Board," and two lines for the signatures of the Planning Board Chairman and the Secretary, and a blank date line. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8. A 2 x 1 ½ inch (approximate) space adjacent to the approval block containing the following statement:

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE
NORTHFIELD PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED
HEREON EXPIRES ONE YEAR FROM THE DATE OF APPROVAL. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Boundary lines of the entire parcel showing bearings, distances and monument locations, and be stamped by a licensed land surveyor. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10. Distances of all existing buildings and structures from boundary lines and all existing/proposed buildings or structures. |

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Distances of all proposed buildings and structures from boundary lines and all existing/proposed buildings or structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12. Names of all abutting property owners.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Location and layout of existing and proposed buildings, structures, and signs.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	14. Existing and proposed contours at two (2) foot intervals for the area of work and five (5) foot intervals for the remaining area. Where a change in grade is proposed, existing contours shall be dotted lines and finished elevations solid lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	15. Area of entire parcel in acres and square feet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Zoning and Special District boundaries.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17. Deed reference and tax map number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	18. Location, width, curbing, and paving of access ways, egress ways, and streets within the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	19. Location and layout of all the on-site parking and loading facilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	20. Location and size of all municipal and non-municipal utilities appurtenances including: water, sewer, electric, telephone, gas lines and fire alarm connections, indicating whether overhead or underground. The Plan is also to include profiles of water, sewer, and drainage. If not serviced by municipal utilities, the Plan shall show the location of wells and septic system designs.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	21. Type and location of solid waste disposal facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	22. Location, elevation and layout of catch basins and other surface drainage features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	23. Location of all physical/natural features including water bodies, watercourses, wetlands, vegetation/foilage lines, soil types, railroads, rock outcroppings and stone walls.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	24. Dimensions and area of all property to be dedicated for public use or common ownership.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	25. Location of Flood Hazard boundaries.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	26. Date and permit numbers of all required state and federal permits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	27. Location of all buildings, wells, and leach fields within one hundred and fifty (15) feet of the parcel.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	28. Dimensions, area and minimum setback requirements of all existing and proposed lots.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	29. Proposed landscaping plan including size and type of plant material.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	30. Pedestrian walks providing circulation through the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	31. Location and size of proposed signs, walls and fences.

- | YES | NO | N/A | |
|--------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 32. Location and type of lighting for outdoor activities. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 33. Location, width, description, and purpose of easements or rights-of-way. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 34. If the proposal contains off-site improvements, then the areas of off-site improvements shall be a part of the site plan and all pertinent requirements of the Regulations shall apply. |

Location Plan Requirements

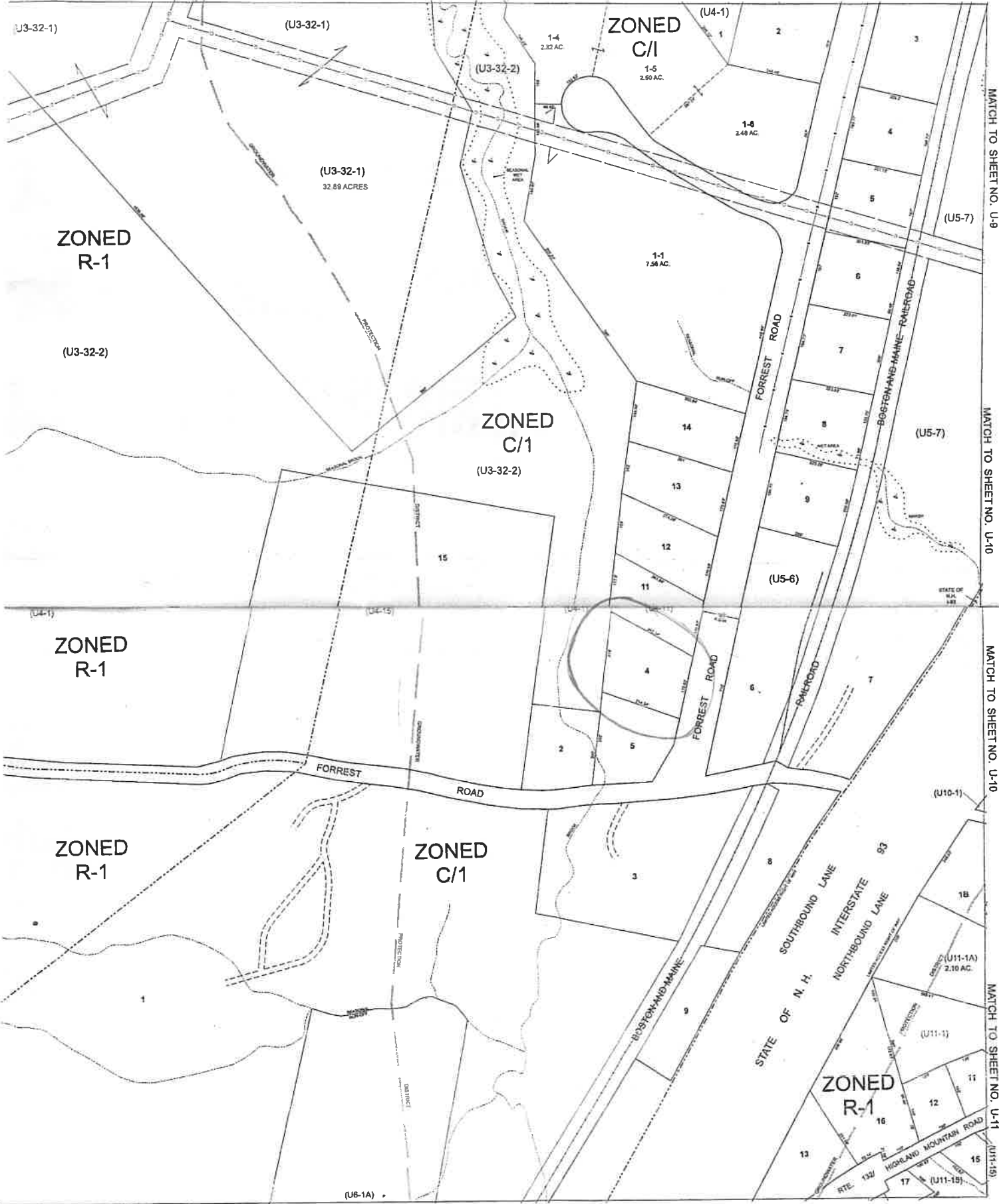
- | | | | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1. Include a location plan at a minimum scale of one (1) inch equals one thousand (1,000) feet, showing the following: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2. Property lines of the parcel being developed in relation to the surrounding area within a radius of two thousand (2,000) feet with tax map numbers. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3. Names and locations of existing town streets including the nearest intersection of said streets. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4. Names and locations of streets within the proposed development. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5. Names and locations of watercourses and water bodies on and adjacent to the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Nearby community facilities such as any schools, churches, parks, etc. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Condominium subdivisions shall be written at the same scale as the Northfield Tax Map. |

To the best of my knowledge, the information above and that accompanies this request is true and correct. I understand that any approval based on incorrect information and data may be reviewed and withdrawn.

Date: 5/18/2023

Signed: Wilfred Perry

MATCH TO SHEET NO. U-3



MATCH TO SHEET NO. U-9

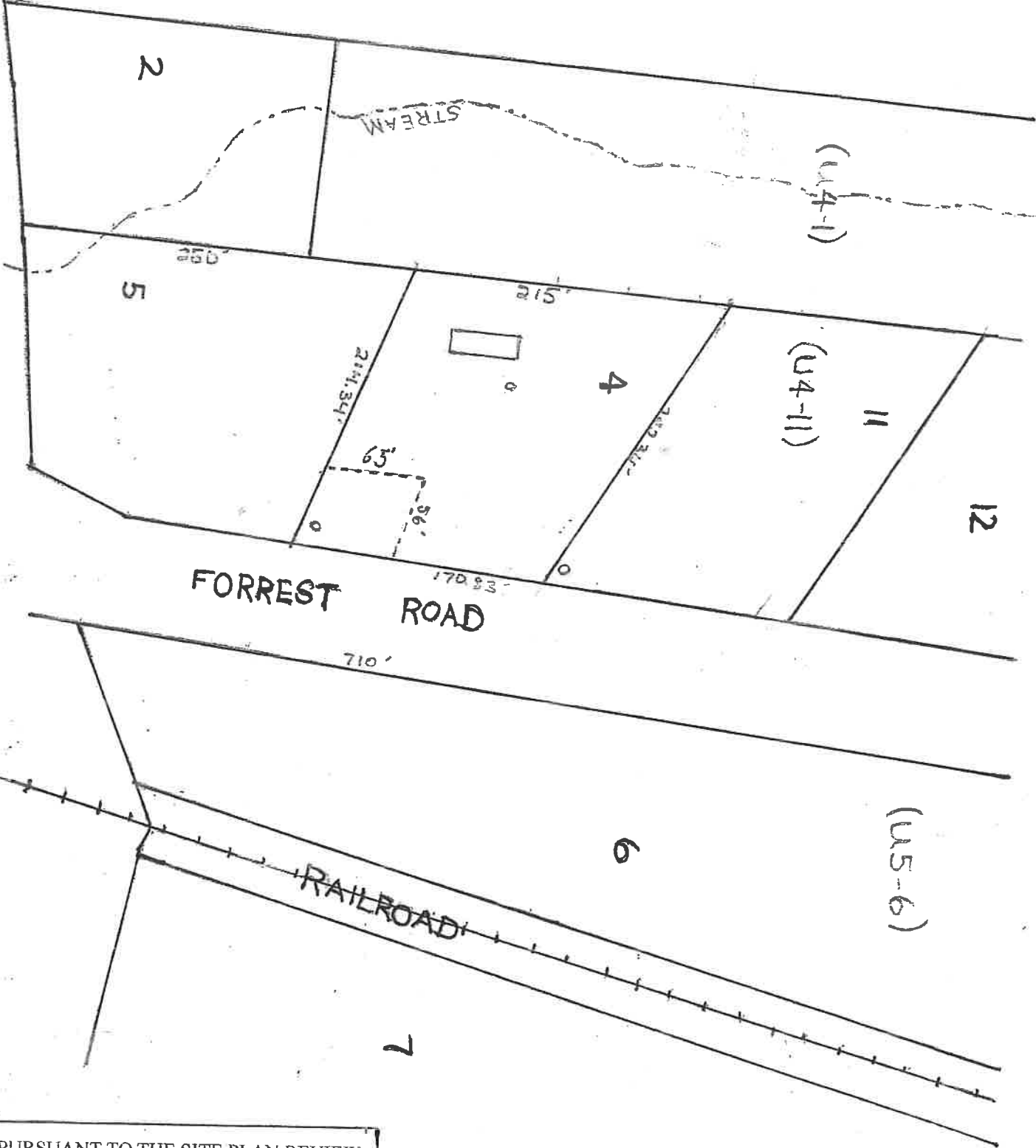
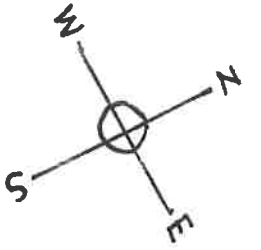
MATCH TO SHEET NO. U-10

MATCH TO SHEET NO. U-10

MATCH TO SHEET NO. U-11

MATCH TO SHEET NO. U-6

NOTE: R1 ZONE IS EASTERLY OF 193



TITLE OF PLAN
BOAT PARKING
SPACE

OWNER'S NAME & ADDRESS
WILFRED PEREZ
101 FORREST RD

DATE PREPARED
5/8/2023

SCALE 1" = 100'
1/8" = 12.5'
MAP NO. U5

PREPARED BY
WIL PEREZ

APPROVED BY NORTHFIELD PLANNING BOARD

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE NORTHFIELD PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREON EXPIRES ONE YEAR FROM DATE OF APPROVAL

1 1

TITLE OF PLAN
BOAT PARKING
SPACE

OWNERS NAME +
ADDRESS
WILFRED PEREZ
101 FORREST RD

DATE PREPARED
5/8/2023

SCALE 1" = 50'
MAP NO. U5

PREPARED BY
WILL PEREZ

APPROVED BY NORTHFIELD PLANNING BOARD

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE NORTHFIELD PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HERON EXPIRES ONE YEAR FROM DATE OF APPROVAL.

