Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

TRANSMITTAL

May 19, 2022

Northfield Planning Board
21 Summer Street
Northfield, New Hampshire 03276

RE: Site Plan Application Amendment for Spaulding Academy School Expansion
Spaulding Youth Center a.k.a. Spaulding Academy and Family Services
72 Spaulding Road (Map R10, Lot 3) Northfield, New Hampshire

Item No.	Quantity	Description
1	1	Application for Site Plan Review and Fee Check
2	1	Major Site Plan Review Checklist
3	1	Abutters List
4	1	Revised Project Narrative and Impact Statement
5	6	Site Plans (24x36)
6	10	Reduced Site Plans (11x17)

If you have any questions, or require additional information, please contact me at (603) 731-9883 or elambert@wilcoxandbarton.com.

Very truly yours,

WILCOX & BARTON, INC.

Erin Lambert

Erin R. Lambert, P.E, LEED AP
Vice President of Civil Engineering

TOWN OF NORTHFIELD
APPLICATION FOR SITE PLAN REVIEW

Application for: ☐ Design Review ☐ Final Application

Level of Site Plan Review Required: ☐ Minor ☒ Major Site Plan Amendment

Name of Owner: Spaulding Youth Center a.k.a. Spaulding Academy and Family Services

Address: 72 Spaulding Road, Northfield, NH 03276

Telephone #: 603-286-8901 ext. 114 E-mail address: dgalimberti@spauldingservices.org

Authorized Agent: Erin Lambert, P.E., Wilcox & Barton, Inc.

Address: 2 Capital Plaza, Suite 305, Concord, NH 03301

Telephone #: (603) 369-4190 ext. 527 E-mail address: elambert@wilcoxandbarton.com

Name of Development: Spaulding Academy

Location: 72 Spaulding Road

Tax Map and Lot Number(s): Map R10 Lot 3

Description of Development: The proposed development includes two building additions to Spaulding Academy with exterior improvements including a parking addition and delivery truck access.

Current Zoning of Site: Conservation District

Special Exception Granted? ☐ Yes ☒ Not Applicable

Variance Granted? ☐ Yes ☒ Not Applicable

Site in Acres: 34.36 acres Site in Sq. Ft.: 1,496,570 sf

Total Developable Acres: _____

Type Sewage Disposal: ☐ Municipal ☒ Private ☐ Other _____

Type of Water Supply: ☐ Municipal ☒ Private ☐ Other _____

ASIDE FROM THE ABOVE, THE FOLLOWING ARE REQUIRED:

1. "Notice of Planning and Zoning Approvals Required" signed by the Northfield Building Inspector.
2. A petition for any and all waivers. The petition shall state fully the grounds for each request for waiver and all of the facts relied upon by the petitioner.
3. All other requirements as per Section 5 of the Town of Northfield Site Plan Review Regulations.

To the best of my knowledge, the information above and that accompanies this request is true and correct. I understand that any approval based on incorrect information and data may be reviewed and withdrawn.

Date: 5.19.2022 Signed: _____

TOWN OF NORTHFIELD
ABUTTER'S LIST FOR
SITE PLAN/DESIGN REVIEW APPLICATIONS

An abutter is anyone with property that shares a boundary line or is on the other side of a street from a boundary line. **Include all engineers, surveyors, authorized agent and the applicant.** If applicable, all holders of conservation, preservation or agricultural preservation restrictions must be included in the abutter list.

	NAME	ADDRESS	TAX MAP AND LOT #(s):
1.	See Attached List.		
2.			
3.			
4.			
5.			
6.			
7.			
8.			
9.			
10.			
11.			
12.			
13.			
14.			
15.			

Design Review : $100.00

MAJOR Site plan :
$300.00 + $150/living unit or
$150/1500 sq. ft. commercial

MINOR Site Plan:
$100.00 + $150/living unit or
$150/1500 sq. ft. commercial
ABUTTER NOTIFI-
CATION/ABUTTER $10.00

Total # of Abutters X $10.00 13 x $10 = $130

Application Fee $300.00

Total Due: $430.00

Date Received 5/19/22

Spaulding Academy School Expansion
72 Spaulding Road

Map	Lot	Property Owner	Mailing Address
Owner/Applicant:			
R10	3	Spaulding Youth Center	72 Spaulding Road, Northfield, NH 03276
			9171 9690 0935 0285 2164 52
Abutters:			
R10	2	Spaulding Youth Center Foundation	130 Shedd Road, Northfield, NH 03276
			9171 9690 0935 0285 2164 45
R10	2/A	Cheryl Knight, C/O Heather Gloddy	90 Bay Hill Road, Northfield, NH 03276
			9171 9690 0935 0285 2165 06
R10	2/B	Cheryl Knight, C/O Heather Gloddy	90 Bay Hill Road, Northfield, NH 03276
R10	4	Spaulding Youth Center Foundation	130 Shedd Road, Northfield, NH 03276
R10	9	Nancy A. Norris	4 Deer Street, Unit 8, Tilton, NH 03276
			9171 9690 0935 0285 2164 83
R10	10	Mark A. Lamanuzzi	18 Drake Drive, Northfield, NH 03276
			9171 9690 0935 0285 2164 90
R14	1	Spaulding Youth Center	72 Spaulding Road, Northfield, NH 03276
R14	2	Spaulding Youth Center Foundation	130 Shedd Road, Northfield, NH 03276
R15	1	Darryl Purcell	66 Blueberry Lane, Northfield, NH 03276
			9171 9690 0935 0285 2164 69
R15	2	Peverly Rev. Trust, G & D	70 Blueberry Lane, Northfield, NH 03276
		Gregory J. & Deborah G., Trustees	9171 9690 0935 0285 2164 76
R15	10	Sean Dunne	222 Bay Hill Road, Northfield, NH 03276
			9171 9690 0935 0285 2165 13
R15	11	Janet R. Spinelli Rev. Trust	22 Drake Drive, Northfield, NH 03276
		Janet R. Spinelli, Trustee	9171 9690 0935 0285 2164 38
R15	12	Sean P. Donahue	24 Drake Drive, Northfield, NH 03276
			9171 9690 0935 0285 2165 20
Engineer		Erin Lambert, PE	Wilcox & Barton, Inc.
		9171 9690 0935 0285 2164 21	2 Capital Plaza, Suite 305
			Concord, NH 03301
Surveyor		Timothy F. Bernier, LLS	T.F. Bernier, Inc.
		9171 9690 0935 0285 2164 07	50 Pleasant Street, PO Box 3464
			Concord, NH 03302
Architect		Ingrid Nichols, AIA	Banwell Architects
		9171 9690 0935 0285 2164 14	6 South Park Street
			Lebanon, NH 03766

TOWN OF NORTHFIELD
MAJOR SITE PLAN REVIEW CHECKLIST

Applicant Name: Spaulding Youth Center a.k.a. Spaulding Academy and Family Services

Date of Application: March 16, 2022

Submittal Requirements: Please check N/A if an item is truly Not Applicable. Otherwise, a waiver request will be required, in writing, for any items not submitted as part of the application. The waiver request must be made at the time the application is made at the Town Offices. This checklist provides guidance regarding minimum requirements for **Major** Site Plan Review. Other information and documentation may be required within the Town of Northfield Site Plan Review Regulations and at the discretion of the Planning Board.

General

YES	NO	N/A	
☒	☐	☐	1. On a completed Site Plan Application form completed and endorsed by the property owner(s) and his/her agent.
☐	☐	☒	2. Include an attached statement authorizing the agent, if any, to act on behalf of the property owner.
☒	☐	☐	3. Include a fee in accordance with the fee schedule in Section 12 of the Regulations.
☒	☐	☐	4. Include six (6) black or blue-line copies of a site plan as described in Section 6 of the Regulations and six (6) copies of each other required plan.
☒	☐	☐	5. Include ten (10) sets of reduced pans not larger than eleven by seventeen (11 x 17) inches.
☒	☐	☐	6. Include the names and addresses of all abutters.
☒	☐	☐	7. Include all required State and Federal permits or evidence that the permit has been applied for.
☒	☐	☐	8. Include a statement describing the development including the use or uses to conducted on the lot, or change of an existing use, or augmentation of an existing use
☒	☐	☐	9. Include an impact statement in narrative form addressing the proposed projects purpose, scope of operation, and impact on the immediate area and the town (see Section 5.3 of the Regulations).
☐	☐	☒	10. Include written notification of a building permit denial outlining the reasons for such a denial. This notification is available on a form completed by the Selectmen, or their Authorized Agent (Building Inspector).

YES	NO	N/A	
☐	☐	☒	11. Include a written request for required waivers.
☐	☐	☒	12. If the development is to be in stages or phases, include a description of the projects in terms of such stages or phases.

Site Plan Requirements

☒	☐	☐	1. A completed Site Plan prepared by a licensed land surveyor or certified engineer registered in the State of New Hampshire.
☒	☐	☐	2. A completed Site Plan must be drawn to scale of not less than one (1) inch equals fifty (50) feet.
☒	☐	☐	3. Plan size (margin to margin) shall be a minimum size of 8 ½ x 11 inches, and a maximum size of 22 x 34 inches. Appropriate lines shall be used for plans exceeding the maximum limit.
☒	☐	☐	4. Include a Title Block which includes: a) Title of plan; b) Owner's name and address, and that of any agent; c) Date the plan was prepared and dates of subsequent revisions; d) Scale of the plan; e) Name, address, and seal (if applicable) of the preparer of the plan.
☒	☐	☐	5. A North Arrow.
☒	☐	☐	6. A Bar Scale.
☒	☐	☐	7. An approval block containing the statement "Approved by the Northfield Planning Board," and two lines for the signatures of the Planning Board Chairman and the Secretary, and a blank date line.
☒	☐	☐	8. A 2 x 1 ½ inch (approximate) space adjacent to the approval block containing the following statement: PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE NORTHFIELD PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREON EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.
☒	☐	☐	9. Boundary lines of the entire parcel showing bearings, distances and monument locations, and be stamped by a licensed land surveyor.
☒	☐	☐	10. Distances of all existing buildings and structures from boundary lines and all existing/proposed buildings or structures.

YES	NO	N/A	
☒	☐	☐	11. Distances of all proposed buildings and structures from boundary lines and all existing/proposed buildings or structures.
☒	☐	☐	12. Names of all abutting property owners.
☒	☐	☐	13. Location and layout of existing and proposed buildings, structures, and signs.
☒	☐	☐	14. Existing and proposed contours at two (2) foot intervals for the area of work and five (5) foot intervals for the remaining area. Where a change in grade is proposed, existing contours shall be dotted lines and finished elevations solid lines.
☒	☐	☐	15. Area of entire parcel in acres and square feet.
☒	☐	☐	16. Zoning and Special District boundaries.
☒	☐	☐	17. Deed reference and tax map number.
☒	☐	☐	18. Location, width, curbing, and paving of access ways, egress ways, and streets within the site.
☒	☐	☐	19. Location and layout of all the on-site parking and loading facilities.
☒	☐	☐	20. Location and size of all municipal and non-municipal utilities appurtenances including: water, sewer, electric, telephone, gas lines and fire alarm connections, indicating whether overhead or underground. The Plan is also to include profiles of water, sewer, and drainage. If not serviced by municipal utilities, the Plan shall show the location of wells and septic system designs.
☒	☐	☐	21. Type and location of solid waste disposal facilities.
☒	☐	☐	22. Location, elevation and layout of catch basins and other surface drainage features.
☒	☐	☐	23. Location of all physical/natural features including water bodies, watercourses, wetlands, vegetation/foliage lines, soil types, railroads, rock outcroppings and stonewalls.
☐	☐	☒	24. Dimensions and area of all property to be dedicated for public use or common ownership.
☐	☐	☒	25. Location of Flood Hazard boundaries.
☒	☐	☐	26. Date and permit numbers of all required state and federal permits.
☒	☐	☐	27. Location of all buildings, wells, and leach fields within one hundred and fifty (15) feet of the parcel.
☒	☐	☐	28. Dimensions, area and minimum setback requirements of all existing and proposed lots.
☒	☐	☐	29. Proposed landscaping plan including size and type of plant material.
☒	☐	☐	30. Pedestrian walks providing circulation through the site.
☒	☐	☐	31. Location and size of proposed signs, walls and fences.

YES	NO	N/A	
☒	☐	☐	32. Location and type of lighting for outdoor activities.
☐	☐	☒	33. Location, width, description, and purpose of easements or rights-of-way.
☐	☐	☒	34. If the proposal contains off-site improvements, then the areas of off-site improvements shall be a part of the site plan and all pertinent requirements of the Regulations shall apply.

Location Plan Requirements

☒	☐	☐	1. Include a location plan at a minimum scale of one (1) inch equals one thousand (1,000) feet, showing the following:
☒	☐	☐	2. Property lines of the parcel being developed in relation to the surrounding area within a radius of two thousand (2,000) feet with tax map numbers.
☒	☐	☐	3. Names and locations of existing town streets including the nearest intersection of said streets.
☐	☐	☒	4. Names and locations of streets within the proposed development.
☐	☐	☒	5. Names and locations of watercourses and water bodies on and adjacent to the site.
☒	☐	☐	6. Nearby community facilities such as any schools, churches, parks, etc.
☐	☐	☒	7. Condominium subdivisions shall be written at the same scale as the Northfield Tax Map.

To the best of my knowledge, the information above and that accompanies this request is true and correct. I understand that any approval based on incorrect information and data may be reviewed and withdrawn.

Date: 5.19.2022 Signed: James Galuski

Wilcox & Barton INC.

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Project Narrative (Updated 5/19/2022)

Project:	Spaulding Academy School Expansion
Location:	Map R10, Lot 3 – 72 Spaulding Rd., Northfield, NH
Owner/Applicant:	Spaulding Youth Center a.k.a. Spaulding Academy and Family Services

The site plan has been revised with a reduced building footprint and less proposed new parking. The Project Narrative has been updated based on the new building program, parking, and other updated site features.

Spaulding Academy is proposing to construct two building additions to the main school building on 72 Spaulding Road. Construction includes a 1,375 SF addition to the administrative spaces; a 13,741 SF addition for supplementary school services including a cafeteria and kitchen; additional parking spaces for a total net increase of 15 spaces; relocated ADA parking spaces; a new septic system as well as stormwater controls. The project construction is expected to start summer 2022 and end summer 2023. The existing school building was constructed in 2011. Construction activities are expected to disturb approximately 69,920 square feet of land, which is less than the 100,000 square foot threshold necessitating a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain permit.

The parcel is in the CONS – Conservation zoning district and has a total area of 34.357 acres with a total developable area of approximately 21.221 acres. The existing property consists almost entirely of large fields kept clear of woodland vegetation, used for crop harvest, and the primary school building for the campus. There are wetlands running along the western border of the main school building, in the middle of one of the large fields and along the east side of Spaulding Road. The project required a Town of Northfield Special Use permit for development within a wetlands buffer zone which was granted May 2nd, 2022, by the Planning Board. The project also requires a NHDES wetlands permit for 1,730 square-feet of permanent fill in existing wetlands. Construction activities are proposed adjacent to existing developed land and wetland impacts are minimized to the maximum extent possible. Additionally, the project requires a NPDES Construction General Permit (CGP) because the area of disturbance is greater than 43,560 square feet which, in accordance with the CGP requirements, will be acquired by the Contractor prior to the start of construction.

A project review by the NH Division of Historical Resources was performed. This project only proposes improvements to the main school building constructed in 2011. No historic or archeological features are expected to be impacted by construction. Furthermore, based on correspondence with the NH Natural Heritage Bureau and the United States Fish and Wildlife Services, no state listed or federally listed rare plant or animal species inhabit the project site or are anticipated to be impacted by the project.

Impact Statement

The project has considered potential impacts to the town and the site's surrounding area. The following outlines the aspects of consideration for the project's design and development in accordance with Section 6.3.B-9 SPR.

a. The proposed school additions provide a kitchen and dining space, supplemental education and care spaces, and expanded spaces for school administration intended to increase the quality of the educational experience for their students. The facility is a private school designed to best support and educate children with special needs and does not expect to draw away students more suitable for conventional public-school facilities.

b. Additional parking is proposed to mitigate the current demand for parking on campus. Increases to staffing and student body are expected to be minimal. As such, any traffic increase through Shedd and Spaulding Road because of this project is expected to be negligible.

c. With the proposed improvements to the facility complete, Northfield and the surrounding townships will appear more attractive for the families of new students. However, minimal growth to the student body is expected as a direct result of the proposed project because the additions are not designed with the intent of providing more space for a larger student body.

d. The campus is not maintained through public funding or staff and is serviced with private sewer and water utilities. No increases to municipal costs are expected.

e. The campus, and proposed additions, are services with private sewer and water utilities. No increases to municipal utility demands are expected.

f. The campus maintains the existing circulation and pedestrian accessways within the project area and proposes a parking expansion adjacent to the developed area, therefore providing a cohesive and secure layout. The proposed additions provide additional pedestrian access to the area, which is clearly delineated with paved walkway areas, ADA compliant access, and curbing.

g. The campus provides a private school facility designed to best support children with special needs, and the proposed improvements are not expected to increase the student body. Any change in student body growth or staffing is expected to be minimal.

h. The surface drainage paths are maintained, as previously permitted for the school facility construction in 2011. The proposed drip edges maintain the previously approved stormwater practices and continue to direct surface drainage to the same points of interest. Runoff from the additional parking is directed to vegetated areas for control and treatment.

i. The facility does not expect considerable growth in the student body from the proposed building additions for dining, administration, and education and care spaces. The expansions are not intended to allow for a larger student body. As a result, the

consumption of groundwater through the private water utilities is not expected to be impacted.

j. The facility includes solid waste disposal areas within the proposed loading area and adjacent to the dining addition. A dumpster enclosure will be constructed. The solid waste disposal area will accommodate the building expansion and relocated dining facility and is handled through a private haul contract.

k. The proposed school additions are directly adjacent to the existing facility and are designed in a manner to minimize potential impacts to the surrounding area and nearby wetland. The educational use remains consistent along with the affiliated stormwater management practices. As a result, no impact to water or air quality results from the project.

l. The proposed development expansion is located in a previously cleared area within the project area; therefore, no tree cover is altered. Additionally, temporary and permanent erosion control measures are designed for the project expansion in a manner to limit land erosion in the vicinity of project area.

m. Construction activities are proposed directly adjacent existing developed land and wetland impacts are minimized to the maximum extent possible. An impact to the wetland inland to the project area is necessary based on the central location within the buildable land, and its formation from the existing bioretention system culvert. A state permit application has been submitted for this wetland impact.

n. The proposed building additions are located on the Spaulding Academy campus and directly adjacent to the existing facility, so no views are expected to be impacted for other abutters.

o. The proposed improvements to the facility are expected to be cohesive with the character of the existing facility and the surrounding campus.

p. The utilities are shown on the Grading and Drainage Plan, which includes the relocated private sewer utilities.

q. The facility is serviced by on site wells. There is a fire pump inside the building and a fire cistern.

r. The facility and proposed expansions are serviced by private sewer utilities: the relocated individual sewage disposal system will be permitted through a NHDES permit application.

TOWN OF NORTHFIELD
PLANNING BOARD
Monday, June 6, 2022 at 7:00 pm
21 Summer Street, Northfield

ABUTTER NOTIFICATION

You are hereby notified that the following application is coming before the Planning Board.

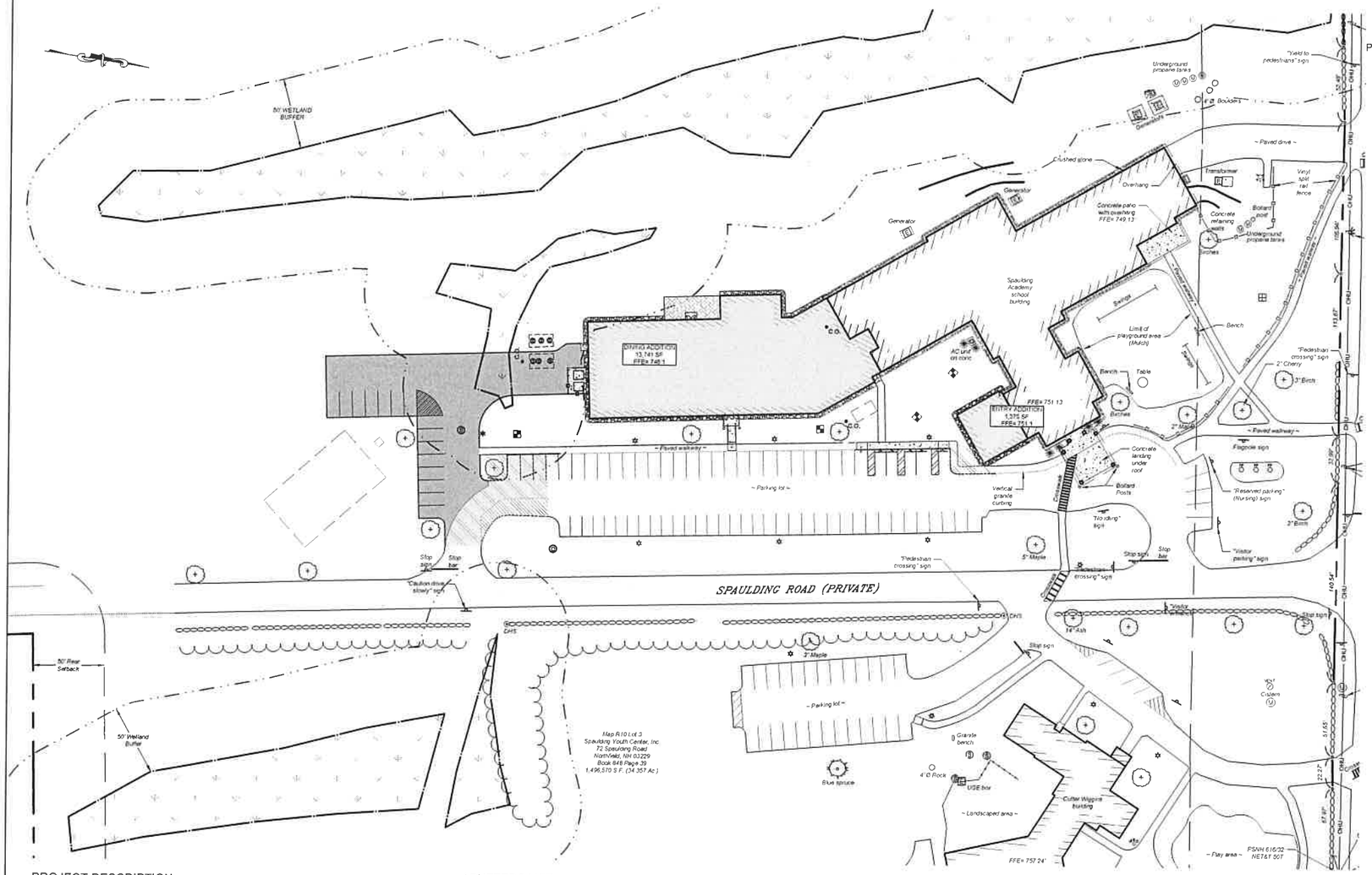
- **Spaulding Youth Center** – Application for a major site plan amendment to the approved additions of a total of 17,014 square foot building and 42 parking spaces dated May 2, 2022, requesting to reduce the size of the additions to 15,116 square feet and 15 parking spaces located at 72 Spaulding Drive (Map R10 Lot 3) in the Conservation Zone

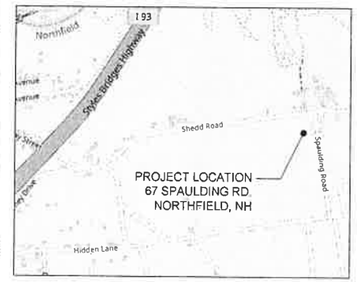
The Town of Northfield complies with the Americans with Disabilities Act regulations. Please contact the Selectmen's Office at 286-7039 if you need special assistance in order to attend this meeting.

All applications and plans are available for review at www.northfieldnh.org.

SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD, NORTHFIELD, NH





LOCATION MAP

PROJECT DESCRIPTION:

PROJECT INVOLVES THE INSTALLATION OF A 1,400 SF BUILDING ADDITION TO THE ADMINISTRATIVE SPACES; A 15,000 SF BUILDING ADDITION FOR SUPPLEMENTARY SCHOOL SERVICES AND A DINING AREA; AN ADDITIONAL PARKING LOT; AND RELOCATION OF THE FACILITY'S ASSOCIATED UNDERGROUND UTILITIES AND SEPTIC.

SHEET INDEX

ABUTTERS LIST:

01 R10/02: SPAULDING YOUTH CENTER FOUNDATION; 130 SHEDD ROAD, NORTHFIELD, NH 03276
02 R10/2A: CHERYL KNIGHT; 90 BAY HILL ROAD, NORTHFIELD, NH 03276
03 R10/2B: CHERYL KNIGHT; 90 BAY HILL ROAD, NORTHFIELD, NH 03276
04 R10/04: SPAULDING YOUTH CENTER FOUNDATION; 130 SHEDD ROAD, NORTHFIELD, NH 03276
05 R10/09: NANCY A. NORRIS; 4 DEER STREET, UNIT 8, TILTON, NH 03276
06 R10/10: MARK A. LAMANUZZI; 18 DRAKE DRIVE, NORTHFIELD, NH 03276
07 R14/01: SPAULDING YOUTH CENTER; 72 SPAULDING ROAD, NORTHFIELD, NH 03276
08 R14/02: SPAULDING YOUTH CENTER FOUNDATION; 130 SHEDD ROAD, NORTHFIELD, NH 03276
09 R15/01: DARRYL PURCELL; 66 BLUEBERRY LANE, NORTHFIELD, NH 03276
10 R15/02: G & D PEVERLY REV. TRUST; 70 BLUEBERRY LANE, NORTHFIELD, NH 03276
11 R15/10: SEAN DUNNE; 222 BAY HILL ROAD, NORTHFIELD, NH 03276
12 R15/11: JANET R. SPINELLI REV. TRUST; 22 DRAKE DRIVE, NORTHFIELD, NH 03276
13 R15/12: SEAN P. DONAHUE; 24 DRAKE DRIVE, NORTHFIELD, NH 03276

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE NORTHFIELD PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREON EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY NORTHFIELD PLANNING BOARD

PLANNING BOARD CHAIRMAN SIGNATURE

SECRETARY SIGNATURE

DATE

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

ARCHITECT
BANWELL ARCHITECTS
6 SOUTH PARK STREET
LEBANON, NH 03766

LAND SURVEYOR
T.F. BERNIER, INC.
50 PLEASANT STREET
CONCORD, NH 03301

REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022-05-19, CM)

ISSUED FOR
PERMITTING

OWNER
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
COVER SHEET

SCALE	DATE
N.T.S.	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

SHEET NO.
C0.1

01 OF 14

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	ABUTTER'S PROPERTY LINE	
	EASEMENT LINE	
	RIGHT OF WAY LINE	
	ZONING SETBACK LINE	
	ZONING BOUNDARY	
	TOWN LINE	
	SOIL TYPE BOUNDARY	
500	MAJOR CONTOUR	500
501	MINOR CONTOUR	501
	BUILDINGS	
	BUILDING OVERHANG	
	ROADWAY CENTERLINE	
	EDGE OF PAVEMENT	
	CURB	
	EDGE OF GRAVEL	
	TRAIL	
	STONE WALL	
	TREE LINE	
	EDGE OF WETLANDS	
	WETLAND / SHORELINE BUFFER	
	EDGE OF WATER	
	FLOOD PLAIN BOUNDARY	
	DITCH LINE	
	CONCRETE PAD	
X X	BARBED WIRE FENCE	X X
O O	CHAIN LINK FENCE	O O
	WOOD RAIL	
	GUARDRAIL	
D D	STORM DRAIN LINE	D D
S S	SEWER LINE	S S
FM FM	FORCE MAIN LINE	FM FM
W W	WATER LINE	W W
G G	GAS LINE	G G
ST ST	STEAM LINE	ST ST
FW FW	FIRE WATER LINE	FW FW
UGE UGE	UNDERGROUND ELECTRIC	UGE UGE
OHE OHE	OVERHEAD ELECTRIC	OHE OHE
UGU UGU	UNDERGROUND UTILITY	UGU UGU
OHU OHU	OVERHEAD UTILITY	OHU OHU
UGU-E UGU-E	UNDERGROUND UTILITY & ELECTRIC	UGU-E UGU-E
OHU-E OHU-E	OVERHEAD UTILITY & ELECTRIC	OHU-E OHU-E
CF CF CF CF	CONSTRUCTION FENCE / LIMIT OF DISTURBANCE	CF CF CF CF
SF SF SF SF	SILT FENCE	SF SF SF SF
SC SC SC SC	SILT CURTAIN	SC SC SC SC
CD CD CD CD CD CD CD CD	COFFER DAM	CD CD CD CD CD CD CD CD
	SIGN	
	LIGHTS	
MW-4	MONITORING WELLS	MW-4
B-4	BORING LOCATIONS	B-4
TP-4	TEST PITS	TP-4
496.88	SPOT GRADES	496.88
	CATCH BASINS	
C.O.	CLEAN OUTS	C.O.
	DRAINAGE MANHOLES	
E	ELECTRIC PADS/ HANDHOLDS	E
	GATES VALVES (WATER)	
	GATES VALVES (GAS)	
	HYDRANTS	
S	SEWER MANHOLES	S
T	TELEPHONE/UTILITY PADS & VAULTS	T
	UTILITY POLES	
W	POTABLE WATER WELLS	W
	WATER SHUT OFFS	
	GUY POLES	
	GUY WIRES	
	CATCH BASIN SEDIMENT TRAPS	
	HAY BALES	
	STONE CHECK DAM	
	STONE INLET PROTECTION	
	DECIDUOUS TREES	
	EVERGREEN TREES	
	SHRUB	
	CONCRETE BOUNDARY MONUMENT	
	IRON RODI PIPE BOUNDARY MONUMENT	
	MAILBOX	
	STONE LINING	
	EROSION CONTROL MATTING	
	SNOW STORAGE AREAS	

STANDARD ABBREVIATIONS

BCC = BITUMINOUS CONCRETE CURB
VGC = VERTICAL GRANITE CURB
SGC = SLOPED GRANITE CURB
CIC = CAST-IN-PLACE CONCRETE CURB
PCC = PRECAST CONCRETE CURB
ICC = INTEGRAL CONCRETE CURB
RCC = REINFORCED CONCRETE CURB
BCP = BITUMINOUS CONCRETE PAVEMENT
GRV = GRAVEL DRIVE SURFACE
PCS = PORTLAND CEMENT CONCRETE SIDEWALK
BCS = BITUMINOUS CONCRETE SIDEWALK
CB = CATCH BASIN
DMH = DRAINAGE MANHOLE
SMH = SEWER MANHOLE

GENERAL NOTES

1 GENERAL

1.1 THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR SPAULDING YOUTH CENTER" DATED 05/16/2022 PREPARED BY WILCOX & BARTON INC.

1.2 EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAN", DATED FEBRUARY 2022, BY T.F. BERNIER, INC.

1.3 BUILDING FOOTPRINT REPRESENTS A FLOOR PLAN DATED MARCH 9, 2022, PROVIDED TO WILCOX & BARTON, INC. BY BARNELL ARCHITECTS. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS

1.4 THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR SPAULDING YOUTH CENTER, FOR REVIEW BY THE TOWN OF NORTHFIELD PLANNING BOARD, CODE ENFORCEMENT, PUBLIC WORKS, POLICE, AND EMERGENCY MANAGEMENT DEPARTMENTS

1.5 THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND IMPLEMENTING ANY ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.

1.6 THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INSTALLATION OF TWO BUILDING ADDITIONS TO THE EXISTING SCHOOL BUILDING ON 67 SPAULDING RD. CONSTRUCTION INCLUDES A 1,400 SF ADDITION TO THE ADMINISTRATIVE SPACES, A 15,000 SF ADDITION FOR SUPPLEMENTARY SCHOOL SERVICES AND A DINING AREA, AN ADDITIONAL PARKING LOT, AND RELOCATION OF THE FACILITY'S ASSOCIATED UNDERGROUND UTILITIES AND SEPTIC.

1.7 PROPOSED SITE IS BY SERVICED BY PRIVATE WATER AND SEWER.

1.8 REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS

1.9 CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN

1.10 ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF NORTHFIELD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION

1.11 PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)

1.12 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES

1.13 ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888 DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD

1.14 CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.

1.15 THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER. THIS PROVIDING ANY INFORMATION REQUESTED BY THE ENGINEER SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR.

1.16 GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557

1.17 UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS BUILT DRAWINGS TO SPAULDING YOUTH CENTER, INC

2 MATERIAL SPECIFICATIONS

2.1 MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.

2.2 GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE

2.3 BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

2.4 CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A ½ INCH SIEVE 30-60 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE

EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC MESTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM

SCHEDULE OF WORK:
THIS WORK IS ANTICIPATED TO BE PERFORMED IN SUMMER/FALL 2022. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY SPRING 2023

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION:

- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 5 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE
- WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY

EROSION CONTROL IMPLEMENTATION SCHEDULE
THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC
- REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS
- PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN NEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL. AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING, LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED

1. BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED,
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE

EXCAVATION DEWATERING
SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MG/L), RESPECTIVELY

STORMWATER POLLUTION PREVENTION PLAN
THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING
GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 95% PURITY

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDING CLOVER	5	85

WINTER CONSTRUCTION NOTES

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

REQUIRED PERMITS

1. PROJECT IS CLASSIFIED AS A MAJOR CONSTRUCTION PROJECT AND REQUIRES SITE PLAN REVIEW AND APPROVAL FROM THE TOWN PLANNING BOARD.
2. PROJECT WAS GRANTED APPROVAL OF A SPECIAL USE PERMIT WITHIN THE WETLANDS BUFFER ZONE BY THE PLANNING BOARD ON MAY 2, 2022, PER TOWN ORDINANCE ARTICLE 17.6 TO ALLOW DISTURBANCES OF THE BUFFER TO A WETLAND.
3. PROJECT REQUIRES A NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) EXPEDITED MINIMUM IMPACT WETLANDS PERMIT
4. PROJECT REQUIRES AN EPA CONSTRUCTION GENERAL PERMIT-NOTICE OF INTENT (NOI). THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMITTING THE NOI.
5. PROJECT REQUIRES NHDES SUBSURFACE DISPOSAL PERMIT

CONSTRUCTION SEQUENCE

1. CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
2. DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
3. PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN
4. CONDUCT ALL UNDERGROUND UTILITY STRUCTURE AND PIPING INSTALLATION, BACKFILL AND COMPACTING
5. CONSTRUCT BUILDING FOUNDATION.
6. INSTALL DRIP EDGES AND EWPS IN ACCORDANCE WITH THE PLANS AND DETAILS
7. PLACE AND CONDUCT NEW GRAVEL COURSES IN THE PARKING, LOADING, AND SIDEWALK AREAS
8. PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING
9. PLACE PAVEMENT COURSES AND CURBING.
10. ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDED, AND MULCHED.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
12. SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS
13. REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

LANDSCAPING NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS
2. LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
3. ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
4. ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
5. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
6. CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
7. ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS
9. ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2 INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED
10. AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4 FOOT RADIUS AROUND EVERGREEN TREES, B) 3 FOOT RADIUS AROUND DECIDUOUS TREES, AND C) 2 FOOT RADIUS AROUND LARGE SHRUBS.
11. FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNER'S REPRESENTATIVE 24 HOURS PRIOR TO PLACEMENT FOR APPROVAL
12. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDED, AND MULCHED

Wilcox & Barton INC.
CIVIL · ENVIRONMENTAL · GEOTECHNICAL

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603-369-4190
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REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022-05-18, CM)

ISSUED FOR
PERMITTING

OWNER
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
NOTES & LEGEND

SCALE	DATE
N.T.S.	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED
PROFESSIONAL ENGINEER

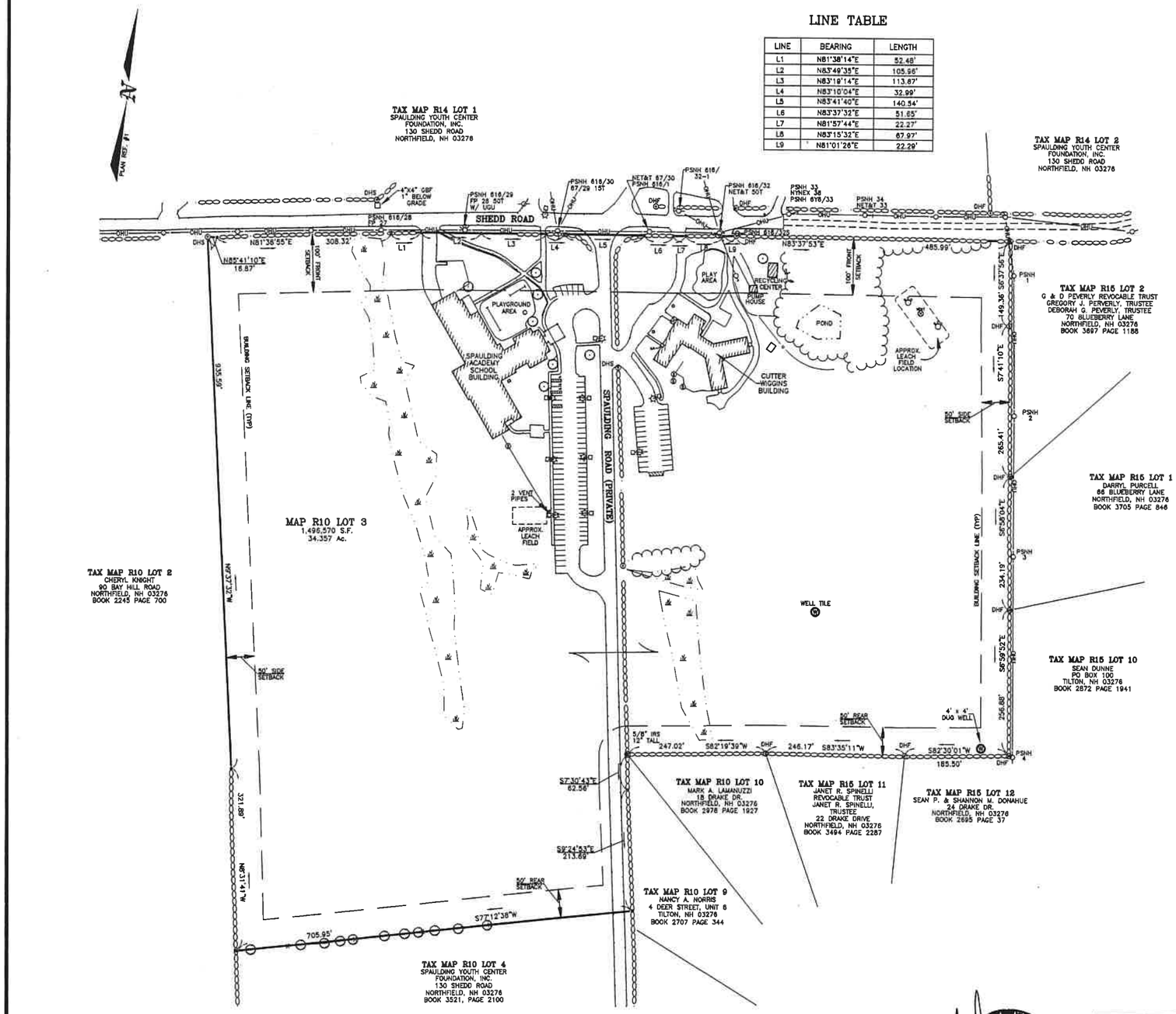
ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

SHEET NO.
C0.2

02 OF 14

LINE TABLE

LINE	BEARING	LENGTH
L1	N81°38'14"E	52.48'
L2	N83°49'35"E	105.96'
L3	N83°18'14"E	113.87'
L4	N83°10'04"E	32.99'
L5	N83°41'40"E	140.54'
L6	N83°37'32"E	51.65'
L7	N81°57'44"E	22.27'
L8	N83°15'32"E	67.97'
L9	N81°01'26"E	22.29'

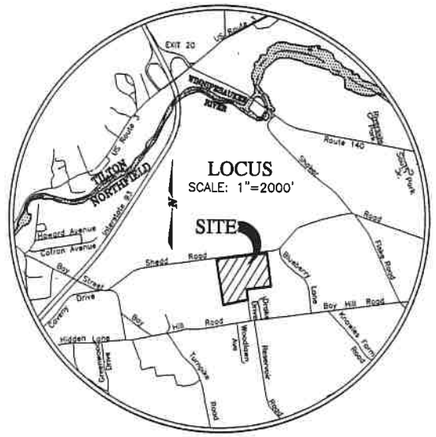


LEGEND

∘	ANGLE POINT
◎	DRILL HOLE FOUND/SET
◐	IRON ROD FOUND
⊗	IRON PIPE FOUND
-o-	UTILITY POLE
IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
DHF	DRILL HOLE FOUND
DHS	DRILL HOLE SET
GBF	GRANITE BOUND FOUND
	STONE WALL
	EDGE OF PAVEMENT
OHU	OVERHEAD UTILITIES
	DELINEATED WETLAND

SHEET INDEX

SHEET 1: BOUNDARY PLAN
SHEET 2: EXISTING CONDITIONS PLAN



NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY INFORMATION OF LOT 3 AS SHOWN ON THE TOWN OF NORTHFIELD ASSESSOR'S MAP R10.
2. THE SUBJECT PARCEL LIES IN A "CONS" CONSERVATION DISTRICT PER THE TOWN OF NORTHFIELD ZONING ORDINANCE. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
   MINIMUM LOT SIZE: 5 ACRES
   FRONTAGE: 250 FEET
   BUILDING SETBACKS:
   FRONT: 100 FEET
   SIDE: 50 FEET
   REAR: 50 FEET
   MAX BUILDING HEIGHT: 3 STORIES
3. THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPETED BY THIS OFFICE IN JANUARY 2022 USING A TOTAL STATION. THE BOUNDARY LINES ARE HELD FROM PLAN REFERENCE #1. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES Lan 500.
4. THE AREA SURVEYED DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD AREA AS DEFINED ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NORTHFIELD, FLOOD MAP 33013C0179E DATED APRIL 19, 2010.

PLAN REFERENCES

1. BOUNDARY SURVEY LANDS OF SPAULDING YOUTH CENTER, INC. & SPAULDING YOUTH CENTER FOUNDATION, INC IN MERRIMACK COUNTY IN THE TOWN OF NORTHFIELD, NH. DATED NOVEMBER 13, 2008. SCALED: 1"=200' PREPARED BY PAUL M. DARBYSHIRE ASSOCIATES OF GILMANTON, NH.
2. BOUNDARY PLAN PREPARED FOR SPAULDING YOUTH CENTER, INC AND SPAULDING YOUTH CENTER FOUNDATION, INC MERRIMACK COUNTY, NORTHFIELD, NH SCALE: 1"=400' DATED: NOVEMBER 13, 2010 PREPARED BY THIS OFFICE.

BOUNDARY PLAN

LAND OF

SPAULDING YOUTH CENTER, INC

ASSESSORS MAP R10 LOT 3
72 SPAULDING ROAD
NORTHFIELD, NEW HAMPSHIRE
SCALE: 1"=100' DATE: FEBRUARY 2022
SHEET 1 OF 2

TIMOTHY F. BERNIER No. 052 CERTIFIED WETLAND SCIENTIST 3/23/22

GRAPHIC SCALE
100 50 0 50 100 200

OWNER OF RECORD

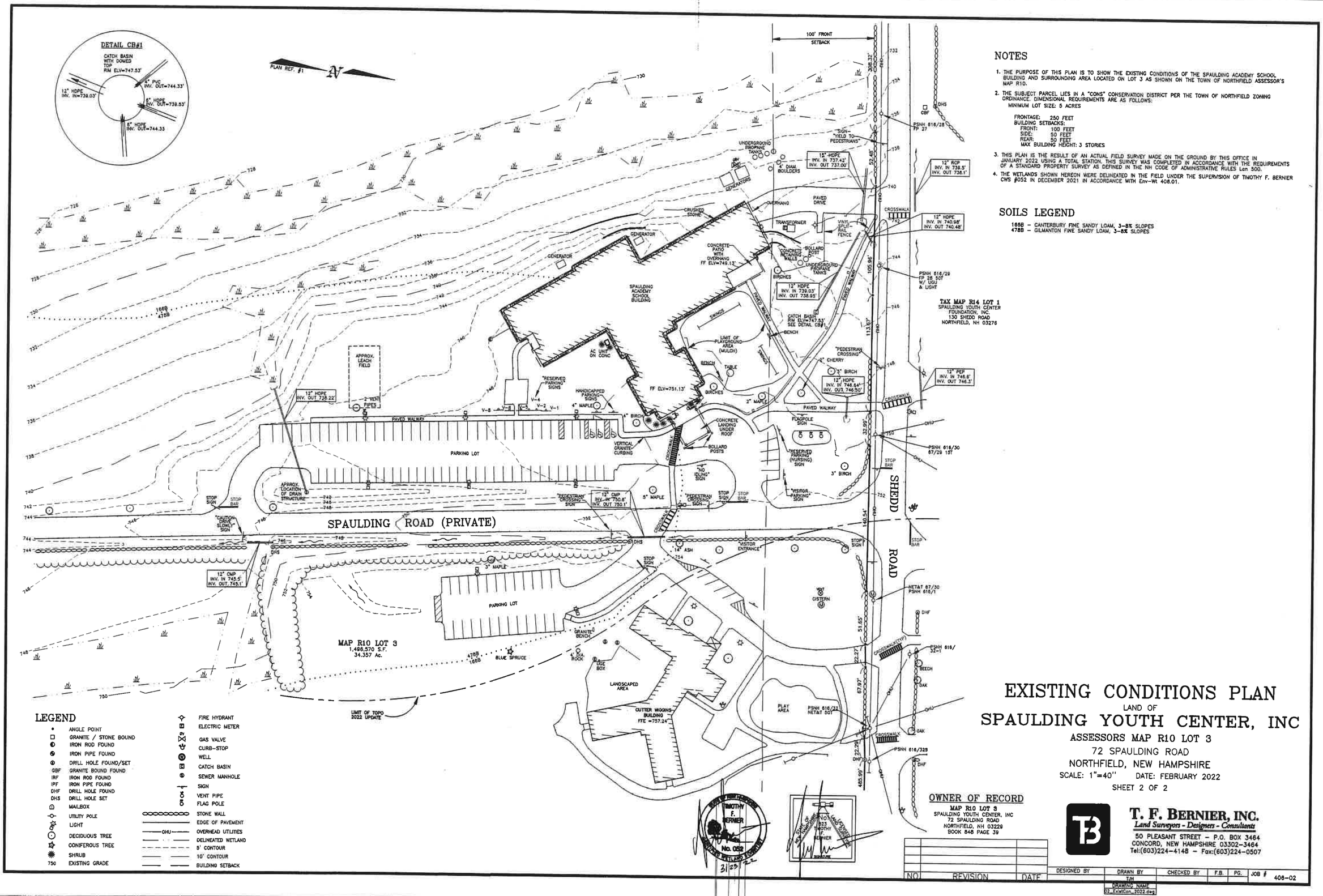
MAP R10 LOT 3
SPAULDING YOUTH CENTER, INC
72 SPAULDING ROAD
NORTHFIELD, NH 03229
BOOK 848 PAGE 39

NO.	REVISION	DATE

T. F. BERNIER, INC.
Land Surveyors - Designers - Consultants
50 PLEASANT STREET – P.O. BOX 3464
CONCORD, NEW HAMPSHIRE 03302-3464
Tel:(603)224-4148 – Fax:(603)224-0507

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
	TJH				406-02

DRAWING NAME: 01_Boundary_2022.dwg



NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SPAULDING ACADEMY SCHOOL BUILDING AND SURROUNDING AREA LOCATED ON LOT 3 AS SHOWN ON THE TOWN OF NORTHFIELD ASSESSOR'S MAP R10.
2. THE SUBJECT PARCEL LIES IN A "CONS" CONSERVATION DISTRICT PER THE TOWN OF NORTHFIELD ZONING ORDINANCE. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
   MINIMUM LOT SIZE: 5 ACRES
   FRONTAGE: 250 FEET
   BUILDING SETBACKS:
   FRONT: 100 FEET
   SIDE: 50 FEET
   REAR: 50 FEET
   MAX BUILDING HEIGHT: 3 STORIES
3. THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE IN JANUARY 2022 USING A TOTAL STATION. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES Lan 500.
4. THE WETLANDS SHOWN HEREON WERE DELINEATED IN THE FIELD UNDER THE SUPERVISION OF TIMOTHY F. BERNIER CWS #052 IN DECEMBER 2021 IN ACCORDANCE WITH Env-Wt 406.01.

SOILS LEGEND

166B – CANTERBURY FINE SANDY LOAM, 3-8% SLOPES
478B – GILMANTON FINE SANDY LOAM, 3-8% SLOPES

TAX MAP R14 LOT 1
SPAULDING YOUTH CENTER FOUNDATION, INC.
130 SHEDD ROAD
NORTHFIELD, NH 03276

EXISTING CONDITIONS PLAN

LAND OF

SPAULDING YOUTH CENTER, INC

ASSESSORS MAP R10 LOT 3
72 SPAULDING ROAD
NORTHFIELD, NEW HAMPSHIRE
SCALE: 1"=40'' DATE: FEBRUARY 2022
SHEET 2 OF 2

OWNER OF RECORD
MAP R10 LOT 3
SPAULDING YOUTH CENTER, INC
72 SPAULDING ROAD
NORTHFIELD, NH 03229
BOOK 846 PAGE 39

TIMOTHY F. BERNIER LLS No. 052 CERTIFIED WETLAND SCIENTIST 3/29/22

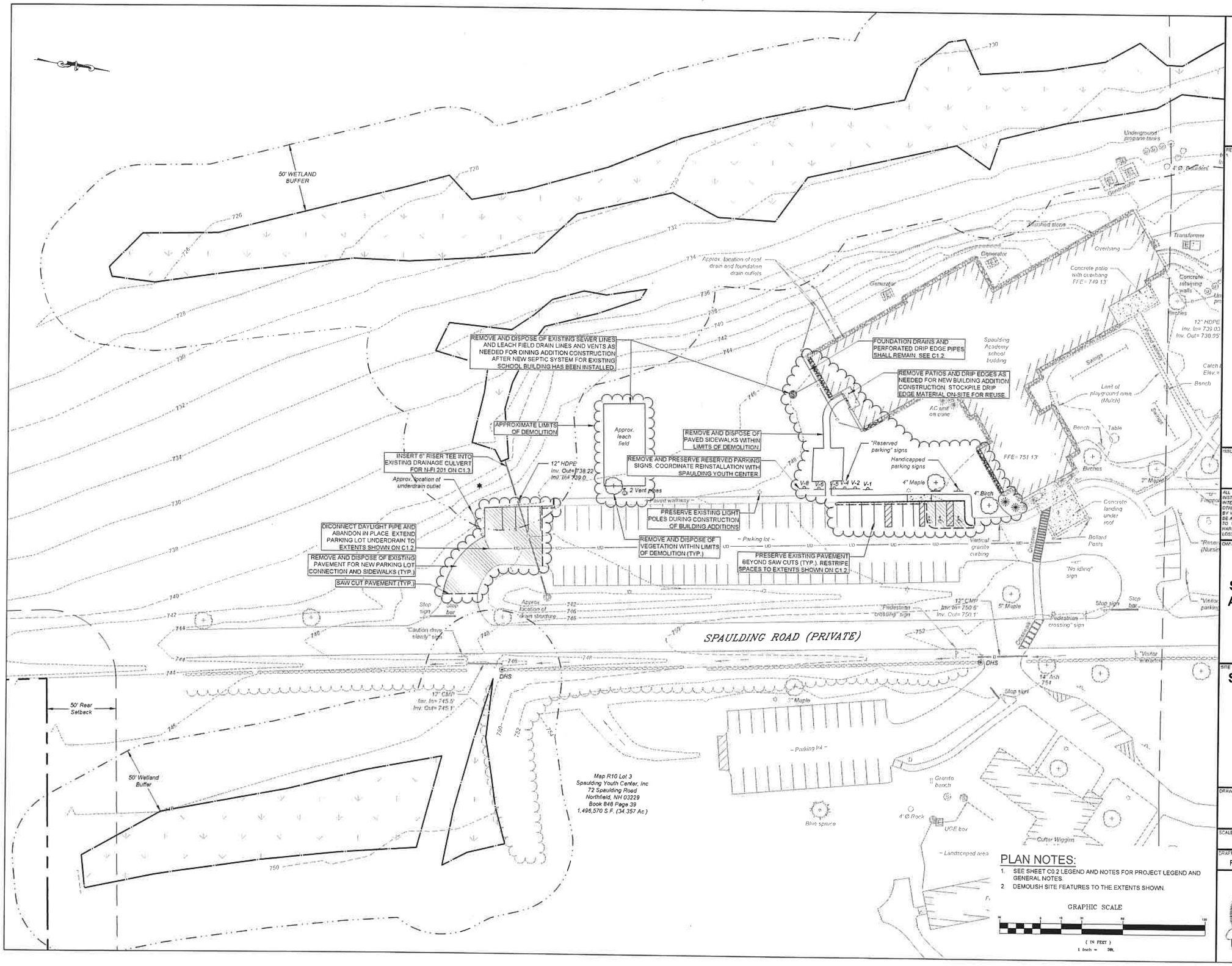
No. 523 TIMOTHY F. BERNIER LICENSED LAND SURVEYOR

T. F. BERNIER, INC.
Land Surveyors - Designers - Consultants
50 PLEASANT STREET – P.O. BOX 3464
CONCORD, NEW HAMPSHIRE 03302-3464
Tel:(603)224-4148 – Fax:(603)224-0507

NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
	TJM				406-02

DRAWING NAME: 02_ExistCon_2022.dwg



PLAN NOTES:

1. SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
2. DEMOLISH SITE FEATURES TO THE EXTENTS SHOWN.

GRAPHIC SCALE

(IN FEET)
1 inch = 30ft

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REVISION HISTORY
A REVISED FOR SITE PLAN AMENDMENT (2022.05.19, CM)

ISSUED FOR
PERMITTING

OWNER
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
DEMOLITION PLAN

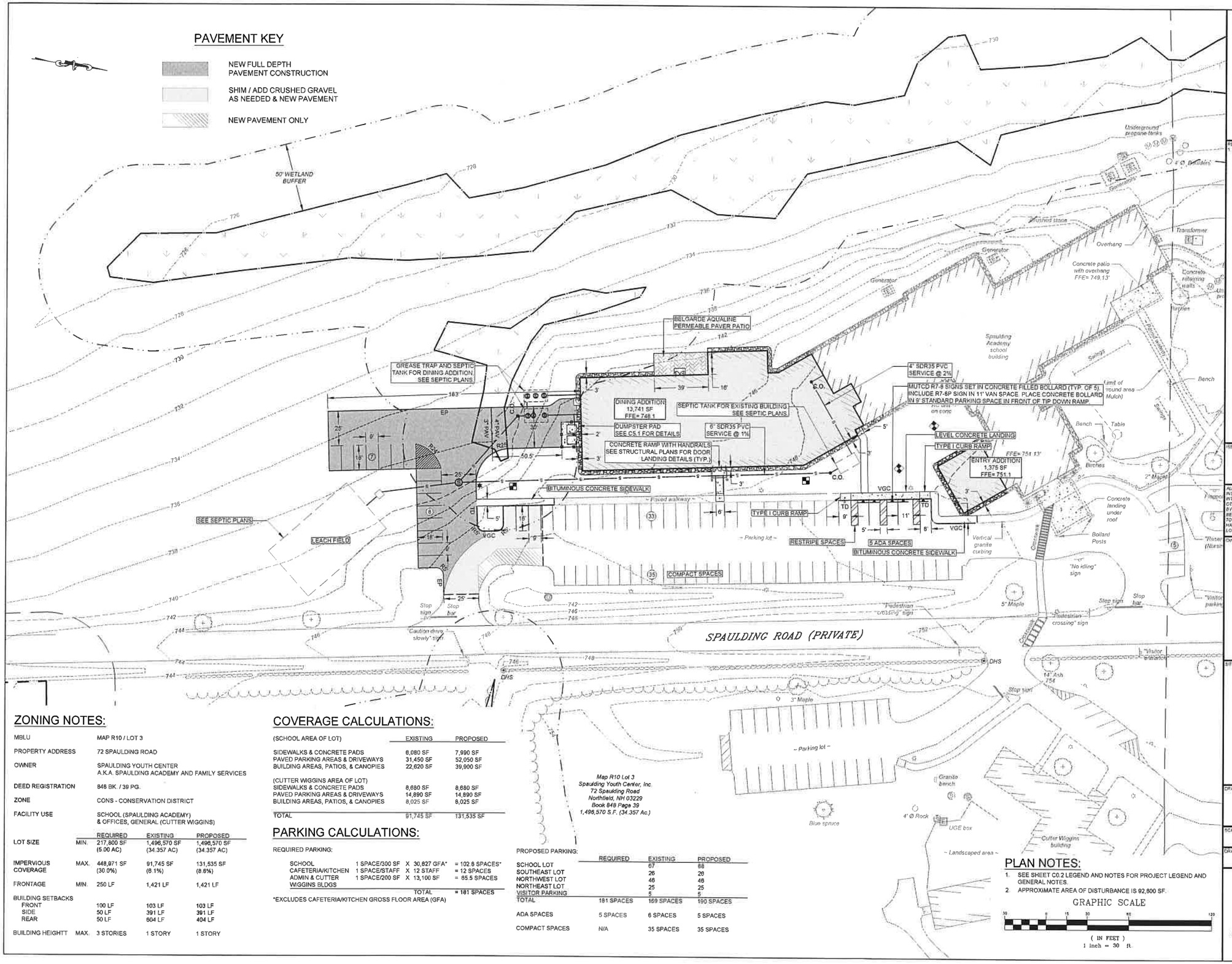
SCALE	DATE
1" = 30'	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT No. 11057 LICENSED
PROFESSIONAL ENGINEER
ENGINEER ERIN R. LAMBERT
NH P.E. #11057

SHEET NO.
C1.1

05 OF 14



ZONING NOTES:

MBLU		MAP R10 / LOT 3		
PROPERTY ADDRESS		72 SPAULDING ROAD		
OWNER		SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES		
DEED REGISTRATION		848 BK. / 39 PG.		
ZONE		CONS - CONSERVATION DISTRICT		
FACILITY USE		SCHOOL (SPAULDING ACADEMY) & OFFICES, GENERAL (CUTTER WIGGINS)		
		REQUIRED	EXISTING	PROPOSED
LOT SIZE	MIN.	217,800 SF (5.00 AC)	1,496,570 SF (34.357 AC)	1,496,570 SF (34.357 AC)
IMPERVIOUS COVERAGE	MAX.	448,971 SF (30.0%)	91,745 SF (6.1%)	131,535 SF (8.8%)
FRONTAGE	MIN.	250 LF	1,421 LF	1,421 LF
BUILDING SETBACKS				
FRONT		100 LF	103 LF	103 LF
SIDE		50 LF	391 LF	391 LF
REAR		50 LF	804 LF	404 LF
BUILDING HEIGHTT	MAX.	3 STORIES	1 STORY	1 STORY

COVERAGE CALCULATIONS:

(SCHOOL AREA OF LOT)	EXISTING	PROPOSED
SIDEWALKS & CONCRETE PADS	8,080 SF	7,990 SF
PAVED PARKING AREAS & DRIVEWAYS	31,450 SF	52,050 SF
BUILDING AREAS, PATIOS, & CANOPIES	22,620 SF	39,900 SF
(CUTTER WIGGINS AREA OF LOT)		
SIDEWALKS & CONCRETE PADS	8,680 SF	8,680 SF
PAVED PARKING AREAS & DRIVEWAYS	14,890 SF	14,890 SF
BUILDING AREAS, PATIOS, & CANOPIES	8,025 SF	8,025 SF
TOTAL	91,745 SF	131,535 SF

PARKING CALCULATIONS:

REQUIRED PARKING:

SCHOOL	1 SPACE/300 SF	X 30,827 GFA*	= 102.8 SPACES*	
CAFETERIA/KITCHEN	1 SPACE/STAFF	X 12 STAFF	= 12 SPACES	
ADMIN & CUTTER WIGGINS BLDGS	1 SPACE/200 SF	X 13,100 SF	= 65.5 SPACES	
		TOTAL	= 181 SPACES	

*EXCLUDES CAFETERIA/KITCHEN GROSS FLOOR AREA (GFA)

PROPOSED PARKING:

	REQUIRED	EXISTING	PROPOSED
SCHOOL LOT		67	88
SOUTHEAST LOT		26	26
NORTHWEST LOT		46	46
NORTHEAST LOT		25	25
VISITOR PARKING		5	5
TOTAL	181 SPACES	169 SPACES	190 SPACES
ADA SPACES	5 SPACES	6 SPACES	5 SPACES
COMPACT SPACES	N/A	35 SPACES	35 SPACES

PLAN NOTES:

1. SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
2. APPROXIMATE AREA OF DISTURBANCE IS 92,800 SF.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

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REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022.05.19, CM)

ISSUED FOR
PERMITTING

OWNER
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
SITE PLAN

SCALE	DATE
1" = 30'	03/17/2022

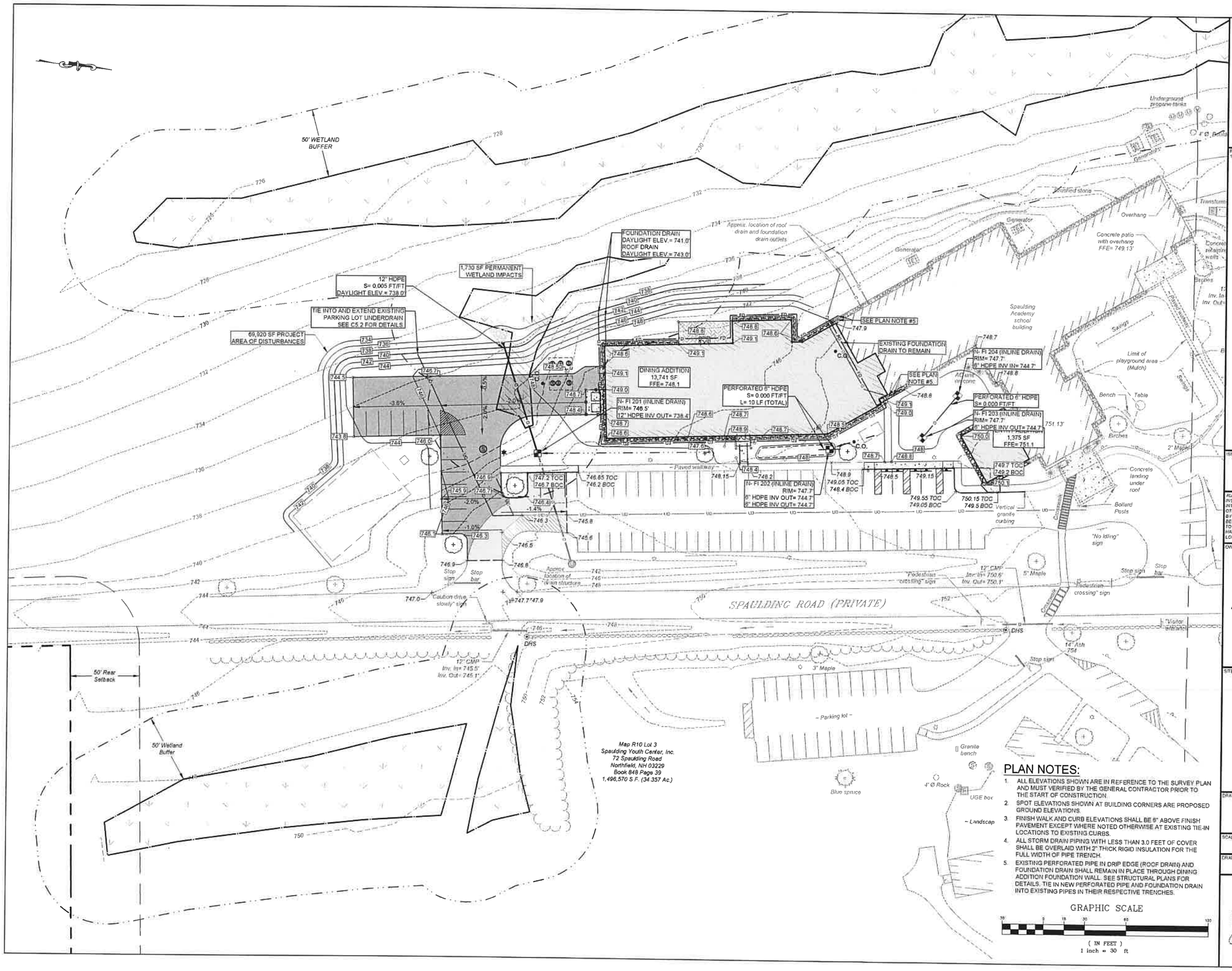
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO
RSR	ERL	ERL	SPYC0001

ERIN R. LAMBERT No. 11057 LICENSED PROFESSIONAL ENGINEER - STATE OF NEW HAMPSHIRE

ENGINEER: ERIN R LAMBERT
NH P.E #11057

SHEET NO.
C1.2

06 OF 14



PLAN NOTES:

1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
3. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT EXCEPT WHERE NOTED OTHERWISE AT EXISTING TIE-IN LOCATIONS TO EXISTING CURBS.
4. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
5. EXISTING PERFORATED PIPE IN DRIP EDGE (ROOF DRAIN) AND FOUNDATION DRAIN SHALL REMAIN IN PLACE THROUGH DINING ADDITION FOUNDATION WALL. SEE STRUCTURAL PLANS FOR DETAILS. TIE IN NEW PERFORATED PIPE AND FOUNDATION DRAIN INTO EXISTING PIPES IN THEIR RESPECTIVE TRENCHES.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft

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OWNER:
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE:
GRADING & DRAINAGE PLAN

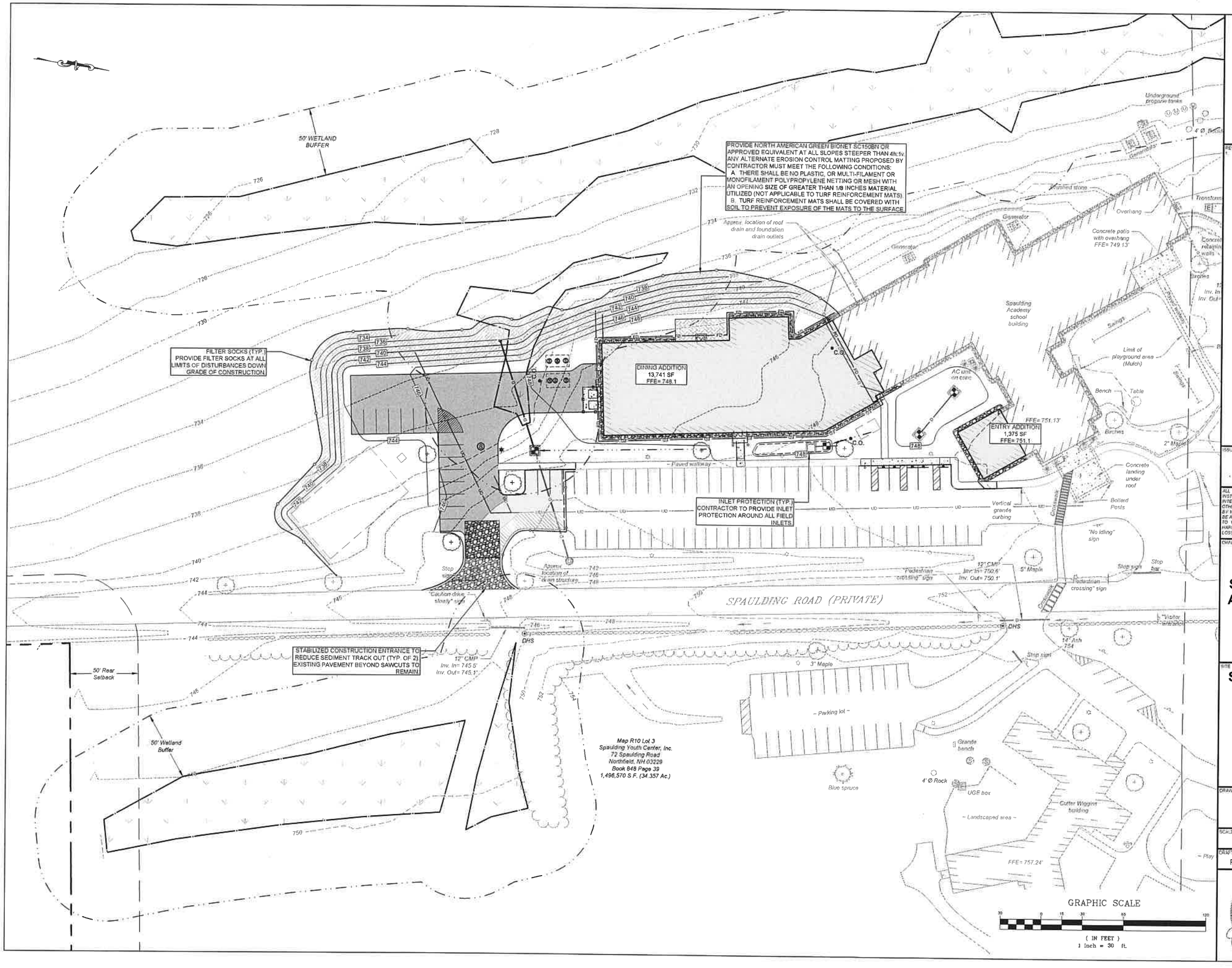
SCALE	DATE
1" = 30'	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR.	PROJECT NO.
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE · ERIN R. LAMBERT No. 11057 · LICENSED PROFESSIONAL ENGINEER
ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

SHEET NO.
C1.3

07 OF 14



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REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022.05.19, CW)

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SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
EROSION CONTROL PLAN

SCALE	DATE
1" = 30'	03/17/2022

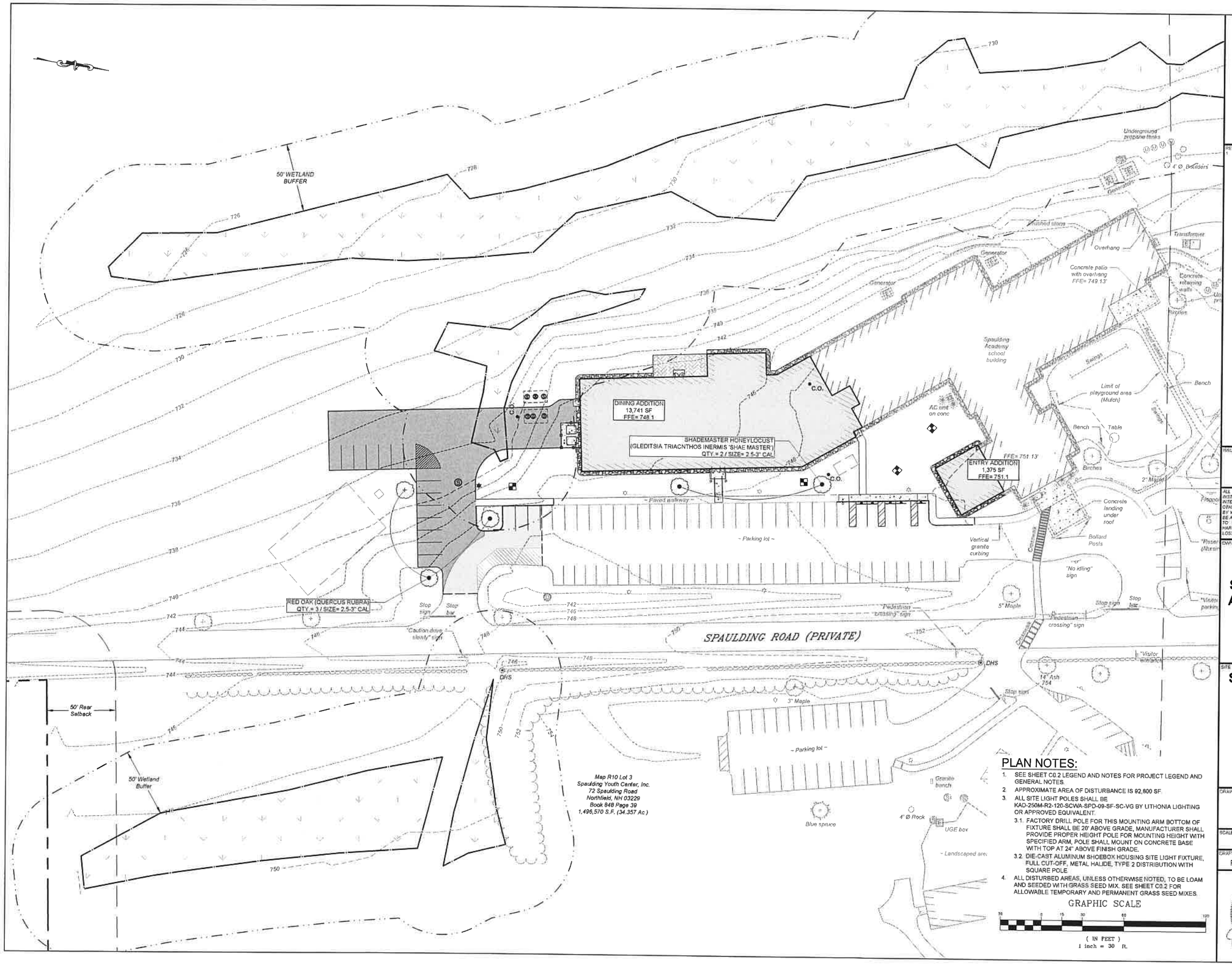
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE · ERIN R. LAMBERT No. 11057 LICENSED PROFESSIONAL ENGINEER

ENGINEER ERIN R LAMBERT
NH P.E #11057

SHEET NO
C1.4

08 OF 14



PLAN NOTES:

1. SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
2. APPROXIMATE AREA OF DISTURBANCE IS 92,800 SF.
3. ALL SITE LIGHT POLES SHALL BE KAD-250M-R2-120-SCWA-SPD-09-SF-SC-VG BY LITHONIA LIGHTING OR APPROVED EQUIVALENT.
   - 3.1. FACTORY DRILL POLE FOR THIS MOUNTING ARM BOTTOM OF FIXTURE SHALL BE 20' ABOVE GRADE, MANUFACTURER SHALL PROVIDE PROPER HEIGHT POLE FOR MOUNTING HEIGHT WITH SPECIFIED ARM, POLE SHALL MOUNT ON CONCRETE BASE WITH TOP AT 24" ABOVE FINISH GRADE.
   - 3.2. DIE-CAST ALUMINUM SHOEBOX HOUSING SITE LIGHT FIXTURE, FULL CUT-OFF, METAL HALIDE, TYPE 2 DISTRIBUTION WITH SQUARE POLE.
4. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM AND SEEDED WITH GRASS SEED MIX. SEE SHEET C0.2 FOR ALLOWABLE TEMPORARY AND PERMANENT GRASS SEED MIXES.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

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72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
LANDSCAPING PLAN

SCALE	DATE
1" = 30'	03/17/2022

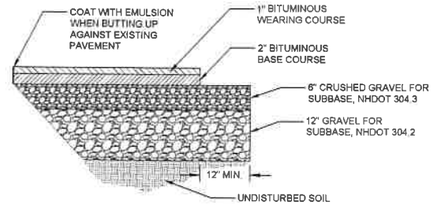
DRAFTED BY	CHECKED BY	PROJECT MGR.	PROJECT NO.
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED
PROFESSIONAL ENGINEER

ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

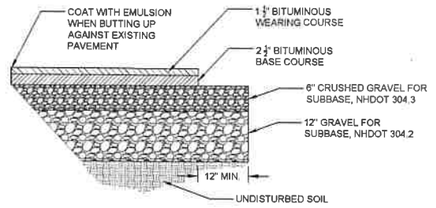
SHEET NO.
L1.1

09 OF 14



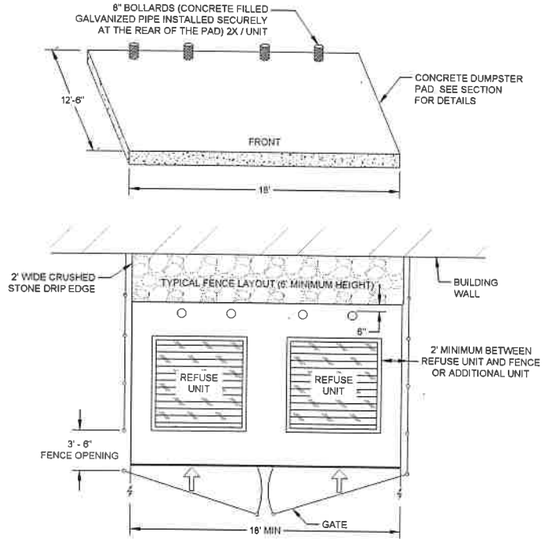
3" PARKING LOT AND DRIVEWAY PAVEMENT SECTION

NOT TO SCALE



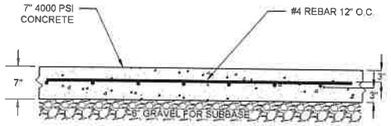
4" LOADING AREA PAVEMENT SECTION

NOT TO SCALE



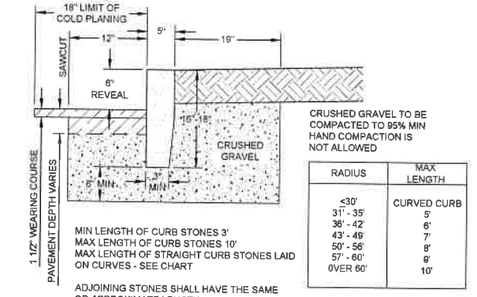
DUMPSTER PAD ENCLOSURE LAYOUT

NOT TO SCALE



CONCRETE DUMPSTER PAD

NOT TO SCALE



CRUSHED GRAVEL TO BE COMPACTED TO 95% MIN HAND COMPACTION IS NOT ALLOWED

RADIUS	MAX LENGTH
<30'	CURVED CURB
31' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

MIN LENGTH OF CURB STONES 3'
MAX LENGTH OF CURB STONES 10'
MAX LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

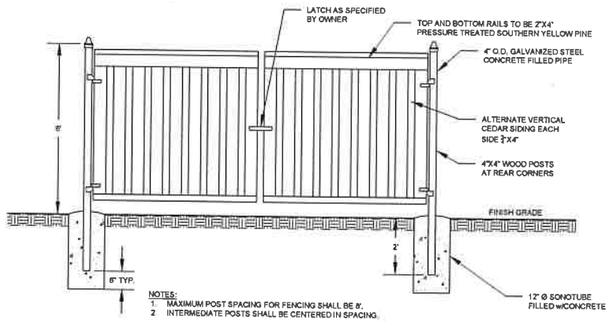
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATE LENGTH

FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB

AREA	FINISH SURFACE	TOLERANCE
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+⅛" TO +⅛"
	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+⅛" TO +⅛"
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO -½"
BACK FACE EXPOSED	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO 1½" BELOW EXPOSED SURFACE. NO LARGER THAN ¼" SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"
CONCEALED	BELOW 1½" FROM EXPOSED SURFACE.	+1½" TO -1½"
BOTTOM	APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3"	SEE PLANS
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	
JOINTS EXPOSED	OPTIMUM WIDTH: 1"	
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+¾" TO -¾"

VERTICAL GRANITE CURB

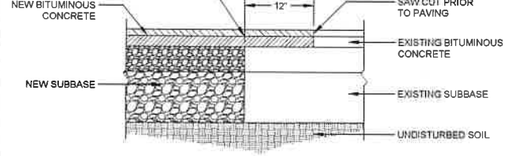
NOT TO SCALE



NOTES:
1. MAXIMUM POST SPACING FOR FENCING SHALL BE 8'.
2. INTERMEDIATE POSTS SHALL BE CENTERED IN SPACING.

TYPICAL DUMPSTER FENCE

NOT TO SCALE



PAVEMENT JOINT SECTION

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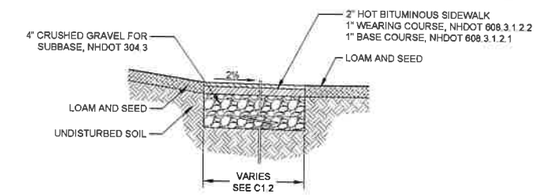
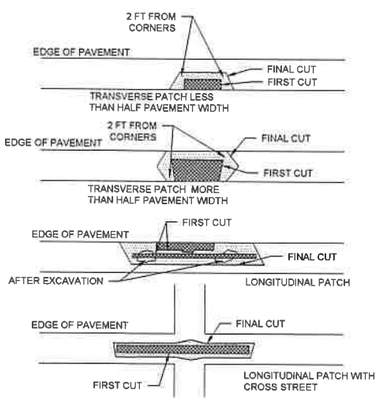


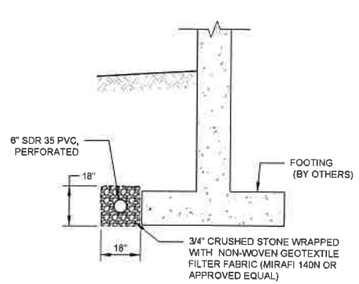
2" BITUMINOUS SIDEWALK SECTION

NOT TO SCALE



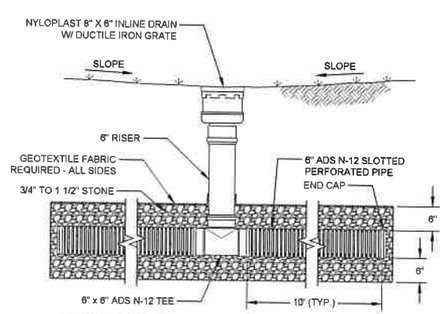
SAWCUT DETAIL

NOT TO SCALE



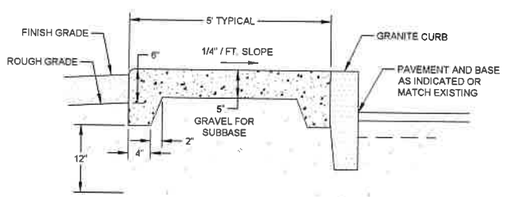
FOUNDATION DRAIN

NOT TO SCALE



FIELD INLET INFILTRATION DETAIL

NOT TO SCALE



NOTES:
PROVIDE EXPANSION JOINTS AT 20'-0" O.C.

CONCRETE SIDEWALK WITH GRANITE CURB SECTION

NOT TO SCALE

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REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022 05-19, CM)

ISSUED FOR:

PERMITTING

OWNER:

SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE

SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE:

CONSTRUCTION DETAILS

SCALE	DATE
N.T.S.	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO
RSR	ERL	ERL	SPYC0001

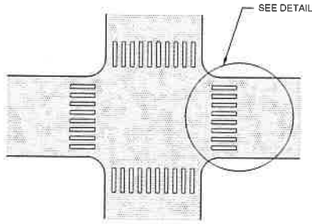
STATE OF NEW HAMPSHIRE · ERIN R. LAMBERT No. 11057 · LICENSED PROFESSIONAL ENGINEER

ENGINEER ERIN R. LAMBERT NH PE #11057

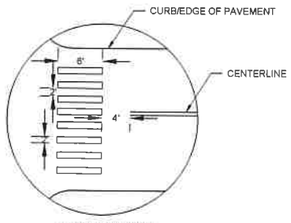
SHEET NO:

C5.1

10 OF 14



CROSSWALK MARKING WITH LONGITUDINAL LINES



CROSSWALK DETAIL

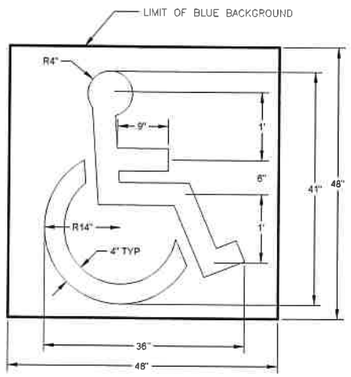
GENERAL NOTES:
1. TRANSVERSE CROSSWALK LINES SHALL BE SOLID WHITE LINES NOT LESS THAN 2' WIDE AND NOT LESS THAN 2' APART.

CROSSWALK DETAIL
NOT TO SCALE

M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	MOUNTING HEIGHT	SIGN
R1-1	30"	30"	7'-0"	STOP
R7-8	12"	18"	7'-0"	RESERVED PARKING
R7-8P	12"	6"	6'-3"	VAN
R7-1	12"	18"	7'-0"	NO PARKING ANY TIME

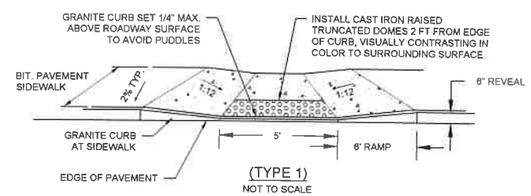
NOTE:
MOUNTING HEIGHT IS THE CLEARANCE OF THE BOTTOM OF THE SIGN TO THE NEAREST EDGE OF PAVEMENT.

SIGN SUMMARY
NOT TO SCALE

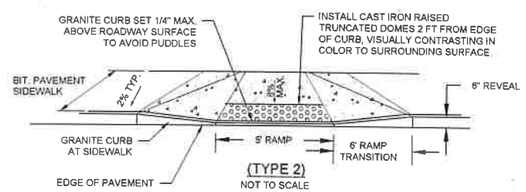


NOTE:
1. SYMBOL TO CONFORM WITH FIGURE 3B.22 OF THE MUTCD (DEC. 2009) EXCEPT AS OTHERWISE INDICATED. REFER TO THE PAVEMENT MARKINGS NOTES ON THE SITE LAYOUT PLAN(S).
2. SYMBOL SHALL BE WHITE WITH A SOLID BLUE BACKGROUND.

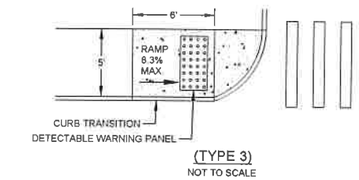
ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING
NOT TO SCALE



(TYPE 1)
NOT TO SCALE



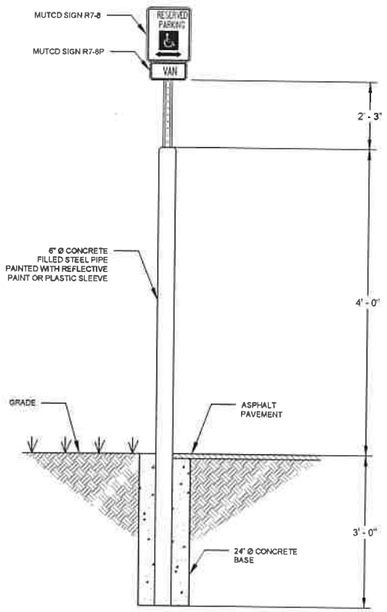
(TYPE 2)
NOT TO SCALE



(TYPE 3)
NOT TO SCALE

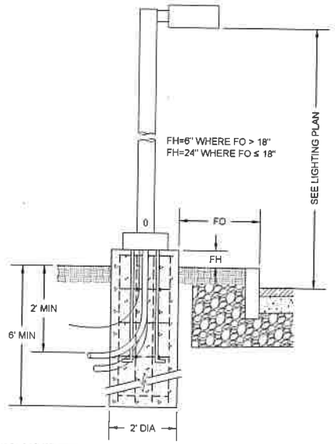
NOTES:
1. RAMPS AND LEVEL LANDING TO BE REINFORCED CONCRETE.
2. CONCRETE TO BE 6" THICK. CONCRETE TO BE TYPE II PORTLAND CEMENT, 4,000 PSI.
3. CONCRETE REINFORCING TO BE WELDED WIRE FABRIC, 6"X6" W2.9XW2.9. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC.
4. SUBBASE BELOW CONCRETE TO BE 8" THICK. SUBBASE MATERIAL TO BE CRUSHED GRAVEL.

ACCESSIBLE RAMP DETAIL
NOT TO SCALE



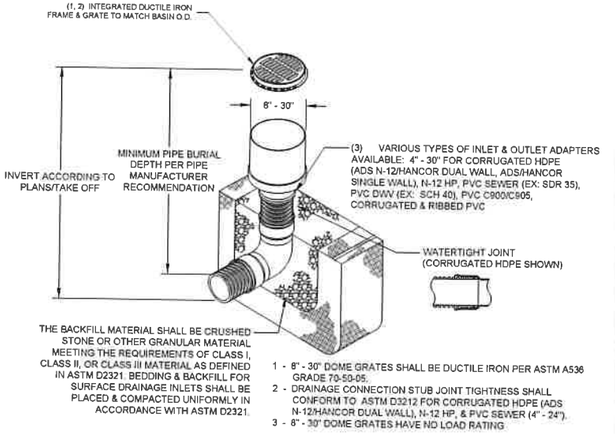
NOTES:
1. A PRECAST BOLLARD WHICH MEETS THE SPECIFIED DIMENSIONS MAY ALSO BE USED.

TRAFFIC BOLLARD WITH ADA SPACE SIGN
NOT TO SCALE



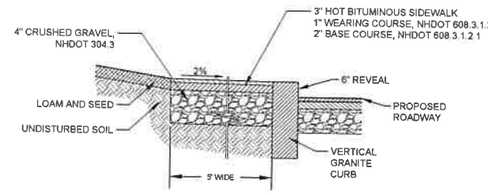
THIS INFORMATION MAY NOT CONTAIN ALL DETAILS REQUIRED FOR CONSTRUCTION. APPROPRIATE MODIFICATION MAY BE REQUIRED TO ENSURE SUITABILITY OF THESE DRAWINGS FOR THE SPECIFIC APPLICATION. IT IS THE USERS RESPONSIBILITY TO ENSURE INSTALLATION OF THE EQUIPMENT/SYSTEM IN ACCORDANCE WITH BUILDING/PROJECT SPECIFICATIONS, APPLICABLE CODES AND STANDARDS.

TYPICAL LIGHT POLE AND FOUNDATION
NOT TO SCALE

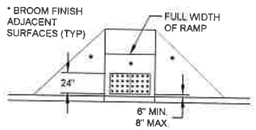


1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
3 - 8" - 30" DOME GRATES HAVE NO LOAD RATING

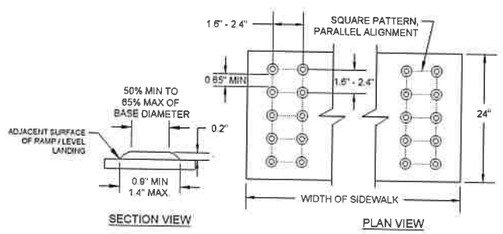
TYPICAL NYLOPLAST INLINE DRAIN WITH STANDARD GRATE
NOT TO SCALE



TYPICAL BITUMINOUS SIDEWALK SECTION WITH VERTICAL GRANITE CURBING
NOT TO SCALE



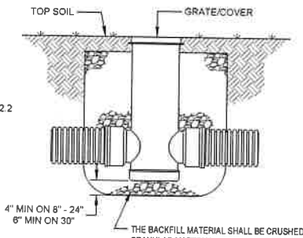
DETECTABLE WARNING PAD PLACEMENT
NOT TO SCALE



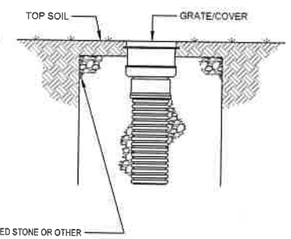
NOTE:
1. DETECTABLE WARNING SURFACES SHALL BE CAST IRON WITHIN THE CITY R.O.W.
2. CONCRETE ADJACENT TO ALL DETECTABLE WARNINGS SHALL HAVE A BROOM FINISH.
3. THE COLOR OF THE DETECTABLE WARNINGS SHALL PROVIDE A VISUAL CONTRAST TO THE SURROUNDING SURFACE (LIGHT ON DARK OR DARK ON LIGHT) AS SPECIFIED ON THE PLANS.
4. WHERE A RAMP OR LEVEL LANDING MEETS A CURB RADIUS, ALIGN THE EDGE OF THE DETECTABLE WARNING AREA PARALLEL TO THE CURB TO THE MAXIMUM EXTENT FEASIBLE.

DETECTABLE WARNING PAD DETAILS
NOT TO SCALE

DRAIN BASIN

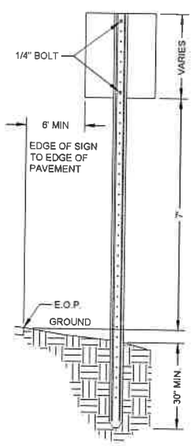


INLINE DRAIN

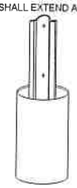


THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE FLAGED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

TYPICAL NYLOPLAST DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION
NOT TO SCALE



NOTES:
1. POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
2. WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
6. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN



GREEN ENAMEL, 2.5#/FT MINIMUM FLANGED CHANNEL STEEL POST

PVC OR STEEL SLEEVE REQUIRED IN PAVED OR CONCRETE LOCATIONS

SLEEVE WILL BE LARGE ENOUGH TO ALLOW FOR REPLACEMENT POST

ROAD SIGN POST AND SLEEVE - RURAL
NOT TO SCALE

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603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY
1. REVISED FOR SITE PLAN AMENDMENT (2022-05-19, CM)

ISSUED FOR
PERMITTING

OWNER
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE
CONSTRUCTION DETAILS

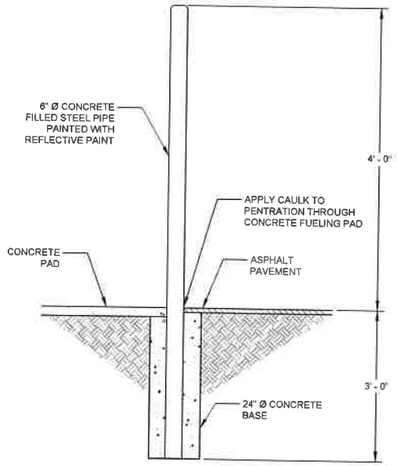
SCALE	DATE
N.T.S.	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE · ERIN R. LAMBERT No. 11057 LICENSED PROFESSIONAL ENGINEER

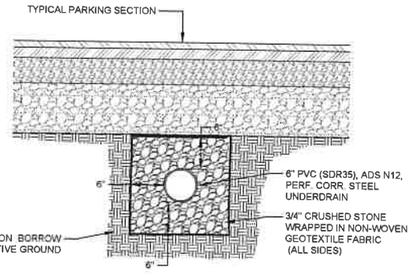
ENGINEER ERIN R. LAMBERT NH P.E. #11057

SHEET NO
C5.2

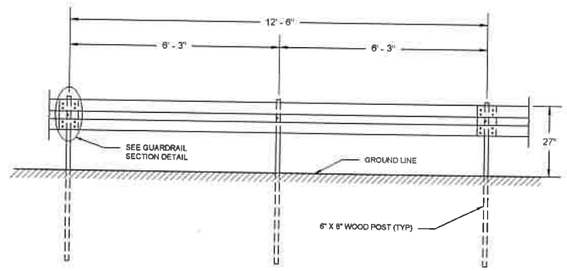


NOTES:
1. CAULK SHALL BE SILKAFLEX 1C SELF LEVELING CAULKING OR APPROVED EQUAL
2. A PRECAST BOLLARD WHICH MEETS THE SPECIFIED DIMENSIONS MAY ALSO BE USED.

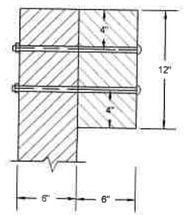
CONCRETE FILLED BOLLARD
NOT TO SCALE



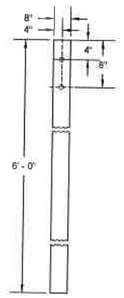
UNDERDRAIN SECTION
NOT TO SCALE



ELEVATION VIEW

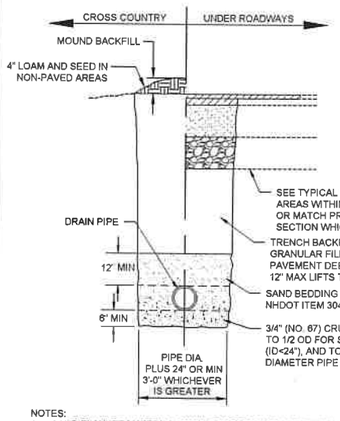


SECTION



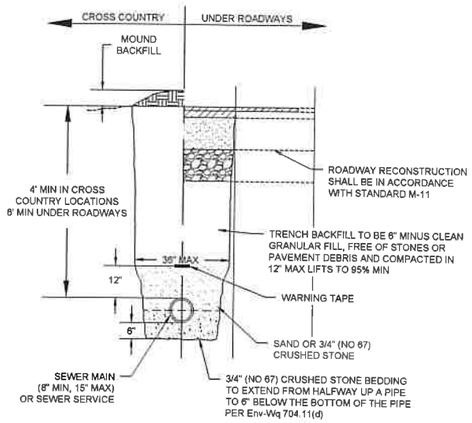
FRONT FACE POST

WOODEN GUARDRAIL DETAIL
NOT TO SCALE



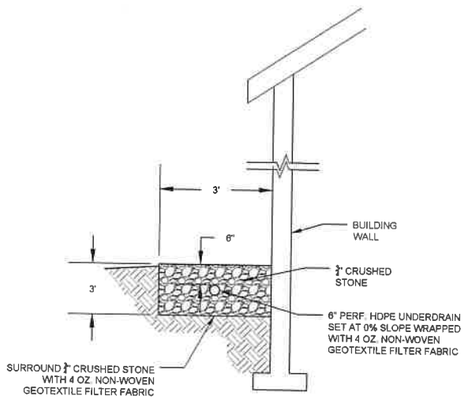
NOTES:
1. SAND BLANKET MATERIAL SHALL CONFORM WITH PROVISIONS OF Env-Wq 704.11(b).
2. TRENCH BACKFILL MATERIAL SHALL CONFORM WITH Env-Wq 704.11(h).
3. FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER Env-Wq 704.11 (o).

DRAINAGE PIPE TRENCH
NOT TO SCALE

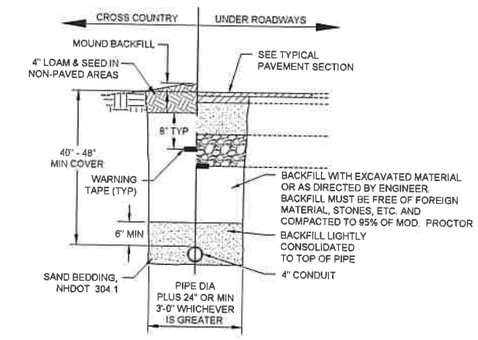


NOTES:
1. SAND BLANKET MATERIAL SHALL CONFORM WITH PROVISIONS OF Env-Wq 704.11(b).
2. TRENCH BACKFILL MATERIAL SHALL CONFORM WITH Env-Wq 704.11(h).
3. FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER Env-Wq 704.11 (o).

SEWER TRENCH
NOT TO SCALE



STONE DRIP EDGE
NOT TO SCALE



NOTES:
1. 4" MINIMUM DIAMETER SCHEDULE 80 PVC CONDUIT SHALL BE STANDARD. NUMBER OF CONDUITS REQUIRED AND SPECIFIC LOCATIONS SHALL BE COORDINATED WITH UTILITIES.
2. IN ORDER TO PROVIDE MINIMUM COVER OVER CONDUIT, THE ROADWAY SUB-GRADE SHALL BE SHAPED PRIOR TO CONDUIT INSTALLATION.
3. CONDUIT LESS THAN 30" BELOW GRADE MUST BE ENCASED WITH A MINIMUM OF 4" CONCRETE ON ALL SIDES

UTILITY CONDUIT TRENCH DETAIL
NOT TO SCALE

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MAP R10, LOT 3

DRAWING TITLE
CONSTRUCTION DETAILS

SCALE	DATE
N.T.S.	03/17/2022

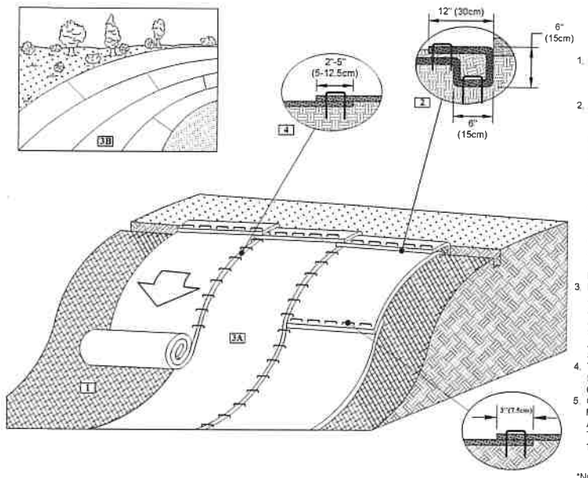
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO
RSR	ERL	ERL	SPYC0001

STATE OF NEW HAMPSHIRE — ERIN R. LAMBERT No. 11057 LICENSED PROFESSIONAL ENGINEER

ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

SHEET NO
C5.3

12 OF 14



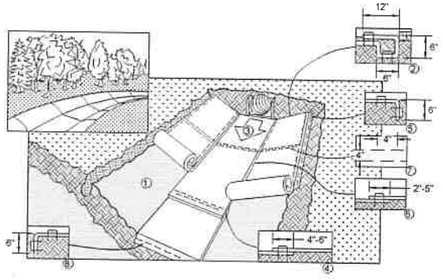
EROSION BLANKET SLOPE INSTALLTION

NOT TO SCALE

SLOPE INSTALLATION DETAIL

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12"(30CM) PORTION OF RECPS BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12"(30CM) APART ACROSS THE WIDTH OF THE RECPS.
3. ROLL THE RECPS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5-12.5CM) OVERLAP DEPENDING ON THE RECPS TYPE.
5. CONSECUTIVE RECPS SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3"(7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12"(30CM) APART ACROSS ENTIRE RECPS WIDTH.

*NOTE:
IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"(15CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP's IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" ACROSS THE WIDTH OF THE RECP's.
3. ROLL CENTER RECP's IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE RECP's END OVER END (SHINGLE STYLE) WITH A 4" - 6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE RECP's.
5. FULL LENGTH EDGE OF RECP's AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT RECP's MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (DEPENDING ON RECP's TYPE) AND STAPLED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE RECP's MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6"DEEP X 6"WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

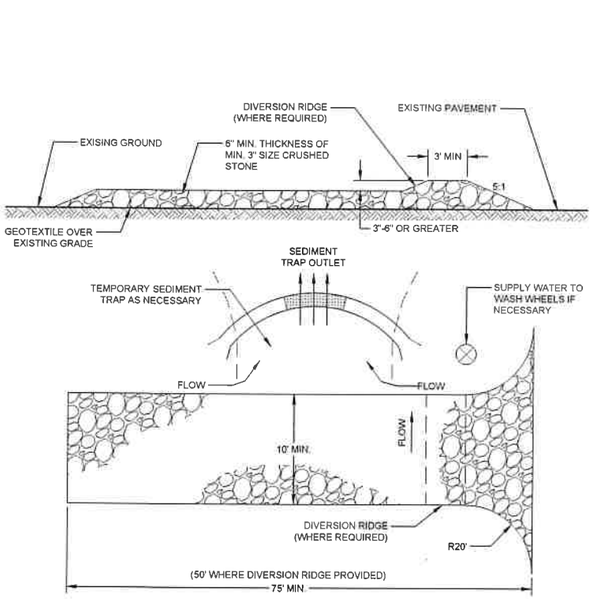
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.

CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTE:
* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.

CHANNEL INSTALLATION ROLLED EROSION CONTROL MATTING

NOT TO SCALE

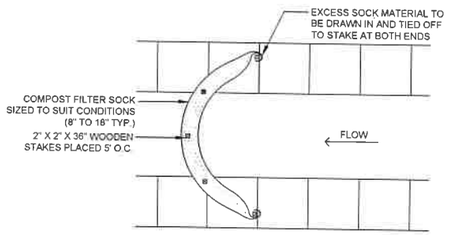


STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

NOTES:

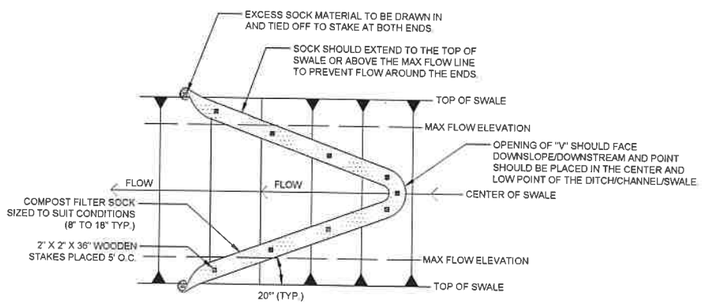
1. STONE SIZE - USE MINIMUM 3 INCH CRUSHED STONE.
2. LENGTH - NOT LESS THAN 75 FEET (50 FEET MAY BE ALLOWED WHERE A DIVERSION RIDGE IS PROVIDED).
3. THICKNESS - NOT LESS THAN 6 INCHES.
4. WIDTH - 10 FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE FILTER FABRIC MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.



FILTER SOCK CHECK DAM

NOT TO SCALE

NOTES:
1. CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 10 ACRES OR LESS.
2. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED ½ THE HEIGHT OF THE CHECK DAM.
3. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



FILTER SOCK CHECK DAM WITH UNIFORM CREST

NOT TO SCALE

NOTES:
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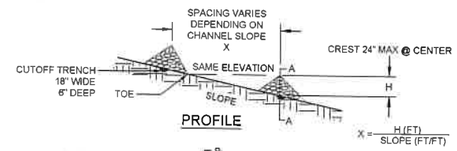
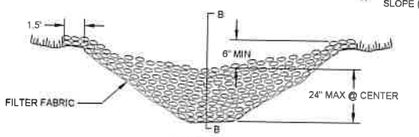
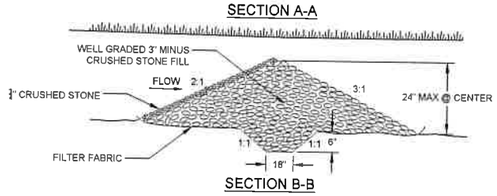
2. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED ½ THE HEIGHT OF THE CHECK DAM.
3. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



PROFILE



SECTION A-A



SECTION B-B

STONE CHECK DAM

NOT TO SCALE

NOTES:

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MIIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAMGE OR BLOCKAGE FROM DISPLACED STONE.

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REVISION HISTORY:
1. REVISED FOR SITE PLAN AMENDMENT (2022.05.19, CW)

ISSUED FOR:
PERMITTING

OWNER:
SPAULDING YOUTH CENTER A.K.A. SPAULDING ACADEMY AND FAMILY SERVICES

72 SPAULDING ROAD NORTHFIELD, NH

SITE:
SPAULDING ACADEMY SCHOOL EXPANSION

72 SPAULDING ROAD NORTHFIELD, NH

MAP R10, LOT 3

DRAWING TITLE:
EROSION CONTROL DETAILS

SCALE	DATE
N.T.S.	03/17/2022

DRAFTED BY	CHECKED BY	PROJECT MGR.	PROJECT NO.
RSR	ERL	ERL	SPYC0001

ERIN R. LAMBERT No. 11057 LICENSED PROFESSIONAL ENGINEER – STATE OF NEW HAMPSHIRE

ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

SHEET NO.
C5.4

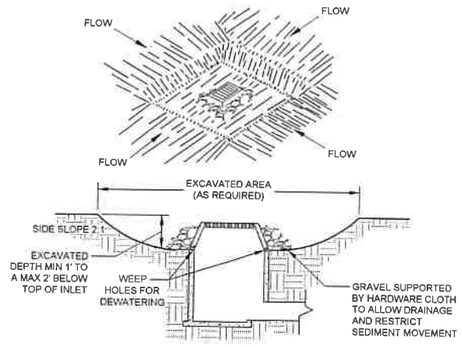
YARD DRAIN

CROSS SECTION

CATCH BASIN SEDIMENT TRAP

NOT TO SCALE

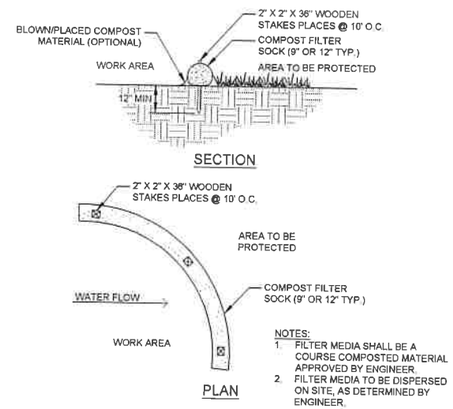
NOTES:
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ½ THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.



EXCAVATED DROP INLET PROTECTION

NOT TO SCALE

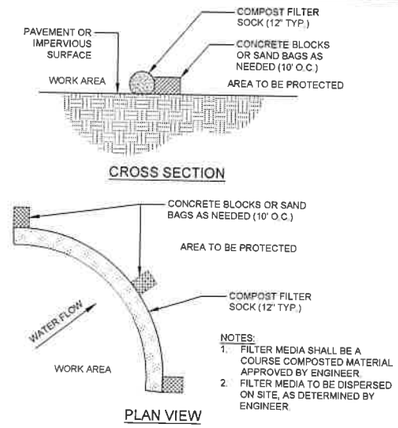
NOTES:
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTER SOCK SEDIMENT CONTROL

NOT TO SCALE



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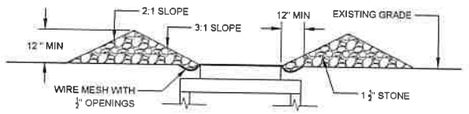
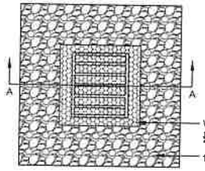
FILTER SOCK SEDIMENT CONTROL ON PAVEMENT

NOT TO SCALE

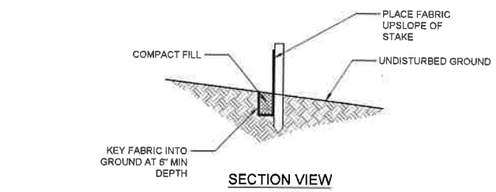


SECTION A-A



STONE INLET PROTECTION

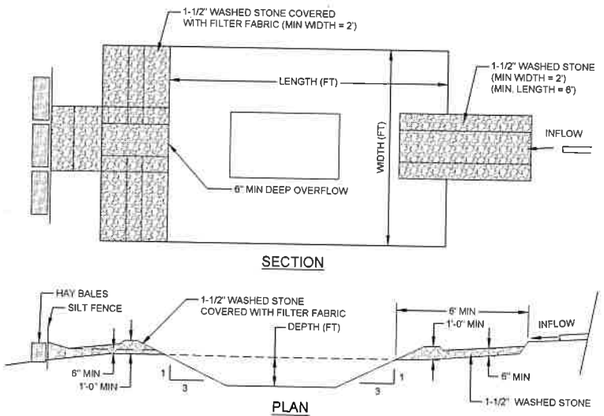
NOT TO SCALE



NOTES:
1. DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
2. SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
3. WIRE FENCE SUPPORT (14 GAGE W/6" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE.
4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
5. ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
6. APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOFAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
7. INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
8. REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

SILT FENCE DETAIL

NOT TO SCALE

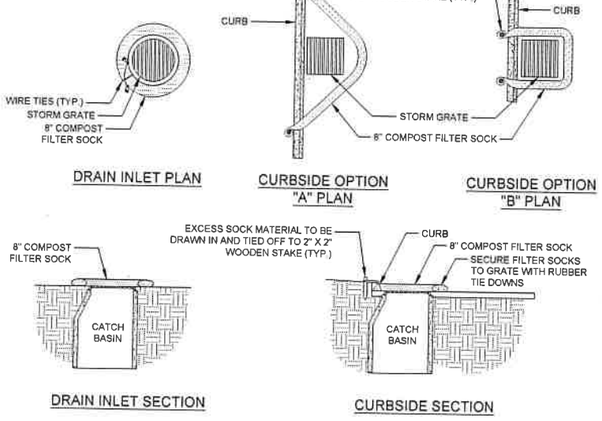


SIZE	PUMP RATE			
	30 GPM	50 GPM	75 GPM	100 GPM
LENGTH (FT)	14	18	22	30
WIDTH (FT)	8	9	11	15
DEPTH (FT)	3	4	5	6

NOTES:
1. BASIN DIMENSIONS AND LOCATIONS TO BE ESTABLISHED IN THE FIELD BASED UPON SITE CONDITIONS.
2. SEDIMENT SHALL BE REMOVED REGULARLY TO ENSURE ADEQUATE SEDIMENT BASIN CAPACITY.
3. CONTRACTORS SHALL OBSERVE THE EFFECTIVENESS OF THE BASIN DAILY OR DURING USE, AND MAKE MODIFICATIONS TO CORRECT ANY DEFICIENCIES.

TEMPORARY SEDIMENTATION/DEWATERING BASIN

NOT TO SCALE



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SHEET NO.
C5.5

14 OF 14